

1. Agenda And Items

Documents:

03-02-26 PLANNING COMMISSION AGENDA.PDF  
ITEM 2.1 DRAFT PLANNING MINUTES 02-17-26.PDF  
ITEM 4.1 MEADOW HAVEN PRELIMINARY PLAT.PDF



# PLANNING COMMISSION AGENDA

Monday, March 2, 2026

7:00 PM

Otsego Prairie Center

The Planning Commission advises the City Council in matters relating to land use and development of the City. The Planning Commission participates in establishment of the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, and other development related policies and controls. The Planning Commission also reviews development proposals, including conduct of public hearings when required by law, and makes recommendations to the City Council.

Members of the public are invited to attend in person at the Otsego Prairie Center (8899 Nashua Avenue NE) or may view the meeting on the internet via Zoom.com using the links or dial-in number below. Persons wishing to provide comments or ask questions for public hearing items must be physically present at the Otsego Prairie Center or submit written comments in advance of the Planning Commission meeting.

Join Zoom Meeting: [Join Zoom \(link\)](#)

Meeting ID: 878 0253 4977

Passcode: 549683

Dial in 1-312-626-6799

Call to Order

Roll Call

1. Announcements:
2. Consider the following Minutes:
  - 2.1 Planning Commission February 17, 2026
3. Annual Business: Election of the 2026 Planning Commission Chair and Vice Chair
4. Public Hearing Items:
  - 4.1 Meadow Haven Preliminary Plat
5. Planning Items:
  - 5.1 None
6. Updates:
  - 6.1 Updates on City Council actions
  - 6.2 Updates on future Planning Commission Items

#### NOTES:

Public Hearings: The City of Otsego expects respectful participation. Speakers are to be courteous in their language and deportment, and to confine their remarks to those facts that are germane and relevant to the question or matter under discussion. Please remember that this is a public business meeting, available for viewing on the internet by members of the public, including children. Consistent with FCC rules, obscenity, and profane or indecent language will not be tolerated by the Chair. Anyone wishing to address the Commission should raise their hand. Please make your comments from the podium and identify yourself by your first and last name and your address for the record. Please limit your comments to three minutes.

Information: The Planning Commission has been provided background information for agenda items in advance by City staff. Decisions are based on this information, as well as the Comprehensive Plan, City Code, City policy and practices, input from the public and a Commissioner's personal judgment.

City Council: There may be a quorum of the City Council in attendance at this meeting only for the purpose of observation and to receive information.

Mobile Devices: Please silence all cell phones and mobile devices.

## **CITY OF OTSEGO PUBLIC HEARING PROCEDURE**

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**To increase public understanding of the procedure being followed in public hearings, the following specific steps will be used in every hearing:**

1. The Chair is to announce the application.
2. City staff will present the Planning Report.
3. The applicant is given opportunity to describe their request and make additional statements.
4. The Chair will open the public hearing and invite comments and questions.
  - Comments and questions are to be directed to the Chair.
  - Please limit individual comments or questions to 3 minutes or less.
5. The Chair will ask for any additional public comments, and hearing none, will close the public hearing.
6. The applicant and/or City staff may respond to questions or comments from the public hearing.
7. The Planning Commission will discuss the application and ask questions of the applicant or City staff.
8. The Chair will call for a motion for a recommendation to the City Council.

The City Council and Planning Commission want to assure that citizen comments regarding applications before the City are received at the proper time and place to be most effective. In order for some comments to be legally considered by the City Council and Planning Commission, they must be presented at a properly noticed public hearing. In conducting the public hearing and establishing a legal record of proceedings for the hearing, after the Planning Commission Chair has closed the public hearing people wishing to provide additional comments may be advised by the Planning Commission Chair and/or City staff that comments are no longer able to be heard.

**OTSEGO PLANNING COMMISSION MEETING**  
**OTSEGO PRAIRIE CENTER**  
**February 17, 2026**  
**7:00 PM**

Call to Order:

Chair Alan Offerman called the meeting to order at 7:00 p.m.

Roll Call: Chair Alan Offerman, Vice Chair Aaron Stritesky, Commissioners, Charles Foster, Tracy Kincanon, Jill Metzger, and Vern Heidner.

Also Present: Councilmember Dunlap and Mayor Stockamp

Staff: City Planner Daniel Licht and Deputy Clerk Katie Kalland

1. Announcements

No announcements.

2. Consider the Following Minutes

2.1 January 20, 2026, Planning Commission Meeting

**Vice Chair Stritesky motioned to approve January 20, 2026, minutes as written. Commissioner seconded Kincanon. All in favor. Motion carried 6-0.**

3. Zoning Ordinances; Sign Ordinance

City Planner Licht gave the planning report.

Commissioners agreed with the revisions presented.

4. Zoning Ordinances; Property Maintenance, Construction Sites

City Planner Licht gave the planning report.

Commissioners agreed with the revisions for clarity.

**Commissioner Heidner motioned to recommend City Council approval of amendments to the City Code and Engineering Manual concerning construction activities. Commissioner Metzger seconded. All in favor. Motion carried 6-0.**

5. Updates

5.1 Updates on City Council actions

Councilmember Dunlap updated the Planning Commission on recent City Council actions.

5.2 Updates on future Planning Commission Items

City Planner Licht updated the Planning Commission on upcoming planning items.

6. Adjourn

MINUTES OF OTSEGO PLANNING COMMISSION

February 17, 2026

Page 2 of 2

**Vice Chair Stritesky motioned to adjourn. Seconded by Commissioner Kincanon. All in favor. Motion carried 6-0.**

**Adjourned at 7:35 p.m.**

*Respectfully submitted by Katie Kalland, Deputy Clerk*

DRAFT



3601 Thurston Avenue  
Anoka, MN 55303  
763.231.5840  
TPC@PlanningCo.com

**PLANNING REPORT**

TO: Otsego Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 23 February 2026

ACTION DATE: 16 March 2026

RE: Otsego – Meadow Haven; Preliminary Plat

TPC FILE: 101.02

**BACKGROUND**

Summergate Development has submitted application for subdivision of 80 single family lots within 36.88 acres located west of McAllister Avenue south of 70<sup>th</sup> Street (CSAH 38). The proposed development requires applications for a Zoning Map amendment, Planned Unit Development-Conditional Use Permit, and preliminary plat. There is also the need to consider vacation of existing public right-of-way for an abandoned section 67<sup>th</sup> Street. A public hearing to consider the zoning and subdivision applications and right-of-way vacation has been noticed for the Planning Commission meeting on 2 March 2026.

Exhibits:

- Site location map
- Urban Service Area Staging Plan map
- Future Land Use Plan map
- Transportation Plan map
- Future Parks and Trails Plan map
- Preliminary Plans dated 02/02/26 (24 sheets)

## ANALYSIS

**Zoning.** The subject property is currently zoned A-1, Agriculture Rural Service District. The developer requesting a Zoning Map amendment to rezone the preliminary plat to R-5, Single and Two Family Residential District. The application also includes a request for a Planned Unit Development-Conditional Use Permit related to lot standards as outlined by the 2023 Comprehensive Plan. Consideration of the Zoning Map amendment and Planned Unit Development-Conditional Use Permit is to be based upon, but not limited to, the criteria established by Section 11-3-2.F and Section 11-4-2.F of the Zoning Ordinance, respectively:

1. The proposed action's consistency with the specific policies and provisions of the Otsego Comprehensive Plan.

*Comment: The Future Land Use Plan of the 2023 Comprehensive Plan guides the subject property for low density residential uses, which is a single family neighborhood with a net density of 3.0 dwelling units per acre or less. The subject property is 36.88 acres in area with a net area less wetlands and wetland buffers of 30.88 acres. The net density of the proposed preliminary plat is 2.32 dwelling units per acre. The proposed preliminary plat provides for a range of single family lot widths to encourage diversity in single family housing within the subdivision and overall housing supply within the City. The proposed development is consistent with the policies of the 2023 Comprehensive Plan.*

2. The proposed use's compatibility with present and future land uses of the area.

*Comment: The subject property is a single parcel that was subdivided at one time from the exception parcel abutting McAllister Avenue, which is not included as part of the proposed plat. The subject property is surrounded by the existing and planned uses shown in the table below. The proposed preliminary plat will be consistent with the character of the area and compatible with existing and planned surrounding land uses.*

<b>Direction</b>	<b>Land Use Plan</b>	<b>Zoning Map</b>	<b>Existing Use</b>
<i>North</i>	<i>LD Residential</i>	<i>A-1 District</i>	<i>Cultivated field</i>
<i>East</i>	<i>Industrial</i>	<i>A-1 District</i>	<i>Cultivated field</i>
<i>South</i>	<i>LD Residential</i>	<i>A-1 District</i>	<i>Rural single family</i>
<i>West</i>	<i>LD Residential</i>	<i>R-4 District</i>	<i>Otsego Preserve</i>

3. The proposed use's conformity with all performance standards contained within the Zoning Ordinance and other provisions of the City Code.

*Comment: The proposed preliminary plat will comply with the provisions of the Zoning Ordinance, Subdivision Ordinance, and Engineering Manual.*

4. Traffic generation of the proposed use in relation to capabilities of streets serving the property.

*Comment: The subject property is to be accessed from 70<sup>th</sup> Street (CSAH 38) via McAllister Avenue, which is to be improved to an interim collector street standard as part of the development. Secondary access will occur at 66<sup>th</sup> Street to be extended from Otsego Preserve and future street connections to the abutting properties to the north and south. The streets accessing the proposed preliminary plat have adequate capacity to accommodate traffic generated by the development.*

5. The proposed use can be accommodated by existing public services and facilities and will not overburden the City's service capacity.

*Comment: The proposed preliminary plat is within the West Sewer District and the City has in-place utilities and services planned for as part of the 2023 Comprehensive Plan. The proposed development will not overburden the City's service capacity.*

**McAllister Avenue.** The primary access to the proposed preliminary plat is to be from 70<sup>th</sup> Street (CSAH 38) via McAllister Avenue. McAllister Avenue is an existing gravel roadway with ditches on either side within a prescriptive 66 foot wide easement. The Transportation Plan designates McAllister Avenue as a Commercial-Industrial Major Collector street. Major Collector streets serve to gather traffic from adjacent neighborhoods and carry it to other Major Collector or Arterial streets such as 70<sup>th</sup> Street (CSAH 38).

The developer will be required to improve McAllister Avenue including pavement from the south line of the preliminary plat to 70<sup>th</sup> Street (CSAH 38). This will include dedication of 40 feet of right-of-way for the west half of McAllister Avenue abutting the subject property. The developer will pave the travel lanes for the street as well as curb, boulevard west side of the improved street.

City owned property for Watertower #4 and the planned Southcentral Water Treatment Plant abut the north one-quarter mile of the east side of McAllister Avenue. The City will provide the developer credits for utility fees for proportional improvement of the east side of McAllister Avenue to include the paved shoulder, curb and gutter, and a right turn lane at 70<sup>th</sup> Street (CSAH 38).

The section of the east side of McAllister Avenue south of 67<sup>th</sup> Street will remain with a gravel shoulder and ditch until the abutting property to the east is subdivided. Some traffic from the development may elect to use the gravel roadway, which the City will need to monitor for maintenance purposes.

**67<sup>th</sup> Street.** Before development of the Zimmer Farms and Remington Coves plats, 67<sup>th</sup> Street extended between MacIver Avenue and McAllister Avenue along a quarter section line that forms the north line of the subject property. The roadway across the north line of the subject property and abutting property to the north was removed with the platting of Remington Coves but the right-of-way was not vacated. It is expected that 67<sup>th</sup> Street will be continued from its current terminus at the east line of Remington Coves through the abutting property to the north with development of that parcel. The existing right-of-way within the subject site for 67<sup>th</sup> Street no longer serves a public purpose based on the Remington Cove plat and proposed preliminary plat. Vacation of the right-of-way within the subject site is appropriate.

East of McAllister Avenue, 67<sup>th</sup> Street continues along the quarter section line before turning north to intersect 70<sup>th</sup> Street (CSAH 38) as Nadala Avenue. This segment of street abuts City owned property and provides access to one single family dwelling. City staff expects that when the properties to the south of 67<sup>th</sup> Street and east of Nadala Avenue, 67<sup>th</sup> Street and Nadala Avenue may be vacated in whole or in part in favor of a more efficient street layout that provides internal access to more properties to be developed with industrial uses.

The likely future vacation of 67<sup>th</sup> Street east of McAllister Avenue is noted with regards to the spacing of intersections onto McAllister Avenue. The preliminary plat proposes extension of 66<sup>th</sup> Street from Otsego Preserve to intersect McAllister Avenue 247 feet south of the quarter section line (or centerline of 67<sup>th</sup> Street). This is approximately one-half of the intersection spacing required by Section 10-8-5.B.4.c of the Subdivision Ordinance. With the low volume of traffic using 67<sup>th</sup> Street east of McAllister Avenue and likelihood for the street to be vacated and relocated in the future, the present off-set of the 66<sup>th</sup> Street and 67<sup>th</sup> Street intersections to McAllister Avenue will not cause issue.

**Local Streets.** The layout for local streets internal to the proposed preliminary plat are logically related to the topography and surrounding physical barriers so as to result in usable lots, reasonable grades, and to discourage through traffic. There are no cul-de-sac streets within the proposed preliminary plat. All of the local streets will be public and designed with 60 foot rights-of-way as required by Section 10-8-5.B.1 of the Subdivision Ordinance

A connection is to be made to the existing temporary cul-de-sac at 66<sup>th</sup> Street within Otsego Preserve abutting the subject property. The developer is required to remove the temporary cul-de-sac and restore the yards and driveways within the right-of-way and temporary cul-de-sac easement.

Section 8-8-4 of the City Code specifies installation of street lighting for new subdivisions at the corners of intersecting streets, midblock locations for blocks longer than 900 feet, and the terminus ends of cul-de-sac streets. The number and location of proposed street lights and street signs is to be subject to review and approval of the City Engineer.

All street design and construction plans, lighting, and signs are subject to review and approval of the City Engineer.

Street names are to be assigned in accordance with the Wright County grid system and Section 10-8-5.B.13 of the Subdivision Ordinance, subject to review and approval of City staff.

**Pedestrians.** Section 10-8-5.D of the Subdivision Ordinance establishes requirements for sidewalks and trails within proposed subdivisions.

A five foot wide sidewalk is to be provided on one side of all local streets (not including cul-de-sacs). The submitted plans illustrate extension of the existing sidewalk on the north side of 66<sup>th</sup> Street within Otsego Preserve being extended along the north side of Street 1 within the preliminary plat. A five foot concrete sidewalk is also included on one side of all other streets.

The planned section for McAllister Avenue above is to include a trail on the west side of the roadway that will eventually extend between 60<sup>th</sup> Street (CR 137) and 70<sup>th</sup> Street (CSAH 38) creating a connection as part of the overall trail system. The prescriptive easement north and south of the subject property and in front of the exception parcel is not sufficient to locate the permanent trail.

City staff, including the Parks and Recreation Department, are recommending that the trail be constructed adjacent to the subject property and the exception parcel with the final plat. The boulevard at the exception parcel may need to be temporarily reduced in width until that property is also subdivided an additional right-of-way acquired. The trail segments to the north and south of the subject property would be constructed with those properties develop or the City obtains necessary right-of-way through other means.

All plans for sidewalks and trails are subject to review and approval of the City Engineer.

**Blocks.** Section 10-8-3.A of the Subdivision Ordinance establishes that blocks within a subdivision are to be a minimum of 300 feet and not more than 1,200 feet in length. Block 1 is the only block within the proposed preliminary plat that does not comply with this requirement. The preliminary plat must be revised to extend either or both of Streets 2 and 3 through Block 1 to provide for future connection to the abutting property to the north to comply with maximum block length standard. Street connection(s) to the abutting property to the north will also allow for distribution of traffic and circulation between neighborhoods for residents, service vehicles, and emergency access as required by Section 10-8-5.A.7 of the Subdivision Ordinance.

**Lot Requirements.** Section 11-66-6.A of the Zoning Ordinance requires single family lots within the R-5 District to be a minimum of 9,000 square feet in area and 60 feet (90 feet for corner lots) in width.

The 2023 Comprehensive Plan encourages development of a range of lot area and widths within a single subdivision to provide for diversity in single family housing options. The preliminary plat includes 74 lots that are a minimum of 65 feet in width and six lots that area minimum of 75 feet in width. The smallest lot is 8,810 square feet in area.

Consistent with the recommendations of the 2023 Comprehensive Plan, the 9,625 square foot mean lot area and 10,302 square foot median lot area for the single family lots within the preliminary plat exceed the minimum area requirement of the R-5 District. Corner lots are also increased in width to allow for the same building envelope in consideration of the increased setback requirement for the side yard abutting the public right-of-way.

**Setbacks.** The table below specifies the principal building setback requirements of the R-5 District as provided for in Section 11-66-6.C of the Zoning Ordinance and the wetland setback established by Section 11-16-5.F.4.b of the Zoning Ordinance. The setbacks shown on the preliminary plat comply with the minimum requirements of the Zoning Ordinance.

<b>Local ROW</b>	<b>Interior Side</b>	<b>Interior Rear</b>	<b>McAllister Avenue</b>	<b>Wetland Buffer</b>
25ft. house 30ft. garage	7ft.	20ft.	65ft.	20ft.

**Landscaping.** Section 11-19-2.B.2 of the Zoning Ordinance requires that two shade trees be provided for each lot, one of which must be in the front yard, at the time of house construction. The trees required in the front yard required to be planted be outside of the public right-of-way.

Section 11-19-3.B requires that lots abutting collector and arterial streets provide a landscape buffer yard. The side yards of Lot 18, Block 1 and Lot 1, Block 4 abut McAllister Avenue and are subject to the buffer yard requirements. The submitted landscape plan includes the buffer yard plantings with the required size and number of plants and appropriate plant types.

**Grading.** The developer has submitted plans for grading, drainage, and erosion control plans for development of the preliminary plat. The developer has also submitted a wetland delineation and wetland impact plan for the proposed preliminary plat. Wetlands to be preserved are required by Section 11-16-5.F of the Zoning Ordinance to be protected by a 20 foot buffer with the wetland and wetland buffer platted within an outlot deeded to the City.

All grading, drainage, wetland impacts, and erosion control issues are subject to review and approval of the City Engineer.

The developer will be required to pay a Stormwater Impact Fee for Otsego Creek at the time of final plat approval.

**Utilities.** The subject property is within the West Sewer District with sewer and water utilities available at the west plat line. The developer has submitted plans for extension of sewer and water utilities for the preliminary plat to serve the proposed lots within the preliminary plat.

The City is in the process of expanding the water utility system to include drinking water treatment. This improvement involves future construction of a Water Treatment Plant to be located at the southeast corner of 70<sup>th</sup> Street (CSAH 38) and McAllister Avenue, adjacent to Watertower #4. The Water System Master Plan requires acquisition of land for a future well at the southwest corner of the subject property. A raw water pipe will be extended from this well to the Water Treatment Plant to the northeast. The needs of the City's water system will require the preliminary plat to be revised to provide a lot to be deeded to the City for the future well and incorporation of the raw water line within the utility plan. The developer will be compensated for the land acquisition and trunk raw water main through utility fee credits.

All utility plans are subject to review and approval of the City Engineer. The parcel to be acquired by the City for the future drinking water well will also be subject to review and approval of the City Engineer.

Payment of utility availability charges are due at the time of final plat approval and payment of utility connection charges are due at the time a building permit is issued for each lot in accordance with Title 6, Section 1 of the City Code.

**Easements.** Section 10-18-12.A of the Subdivision Ordinance requires 10 foot drainage and utility easements at the perimeter of all lots (overlying side lot lines), as well as over any stormwater management facilities, wetlands, and wetland buffers not platted within outlots deeded to the City. The preliminary plat provides for dedication of required easements, which are to be subject to review and approval of the City Engineer.

**Outlots.** The preliminary plat includes five outlots as shown below. Outlots A, B, C, and D are to be deeded to the City for stormwater management purposes in accordance with Section 10-8-12.D of the Subdivision Ordinance.

Outlot	Purpose	Ownership
A, B, C, D	Wetlands, wetland buffer storm basin	Deed to City
E	Future development	Developer

The preliminary plat includes a sketch plan for future development of Outlot E. It is recommended that the outlot be platted as two separate outlots for the potential future lots with dedication of right-of-way for the street illustrated on the sketch plan. Because of the access limitations and spacing requirements onto McAllister Avenue as collector street, having the right-of-way dedicated for this potential future street will allow greater flexibility for development of parcels to the south of the subject property.

**Park Dedication.** Section 10-8-15.A of the Subdivision Ordinance requires subdividers to dedicate a reasonable portion of the buildable land within a proposed preliminary plat for public use as parks or open space. The City may also choose to accept an equivalent amount in cash for part or all of the land required to be dedicated.

The subject property is within the service area for Zimmer Farm Park and Billette Field to the west on the boundary of the Otsego Preserve and Zimmer Farm neighborhoods. The Future Parks and Trails Map does not identify acquisition of land from the subject property for park facilities

Park dedication requirements for the proposed subdivision are to be satisfied as a cash fee in lieu of land at the time of final plat approval.

**Exception Parcel.** The exception parcel abutting McAllister Avenue (PID 118-500-311301) is not included in the preliminary plat as noted above. The submitted plans do provide for a street stub east of Street 3 to the west line of the exception parcel to allow for future subdivision with extension of streets and utilities.

The sketch plan illustrates that the street would be extended through the exception parcel to intersect McAllister Avenue. With the area to the east of McAllister Avenue planned for future industrial land uses, there is an interest in limiting access points to the collector street and also providing area for landscape buffering.

As such, City staff recommend that the sketch plan for the exception parcel be revised to terminate as a cul-de-sac and not intersect McAllister Avenue.

## **RECOMMENDATION**

The proposed Meadow Haven preliminary plat is consistent with the goals and policies of the 2023 Comprehensive Plan and complies with the requirements of the Zoning Ordinance and Subdivision Ordinance. City staff recommends approval of applications as outlined below.

## **POSSIBLE ACTIONS**

Motion to recommend **approval** of a Zoning Map amendment rezoning the subject property to R-5 District; a Planned Unit Development-Conditional Use Permit; and preliminary plat of Meadow Haven, subject to the following conditions:

1. Approval of the preliminary plat shall not guarantee access to sanitary sewer service. The City shall only allocate sanitary sewer capacity to approved final plats with signed development contracts to assure the City of timely development.

2. All right-of-way dedication, street design and construction plans, street lighting, sidewalks, trails, and street names shall be subject to review and approval of the City Engineer.
3. McAllister Avenue:
  - a. The developer shall dedicate 40 feet of right-of-way for the west half of McAllister Avenue abutting the preliminary plat.
  - b. The developer shall at their cost improve McAllister Avenue from the south line of the preliminary plat to 70<sup>th</sup> Street (CSAH 38) to a minor collector section as determined by the City Engineer.
  - c. The developer shall receive utility fee credits as determined by the City for the portion of the east half of McAllister Avenue abutting the City owned Watertower #4 and South Central Water Treatment Plant property.
  - d. The improvement of McAllister Avenue abutting the subject property and PID 118-500-311301 shall include a 10-foot bituminous trail.
4. The City Council shall consider a resolution approving vacation of 67<sup>th</sup> Street along the north line of the preliminary plat at the time of final plat application.
5. All lots within the preliminary plat shall comply with the following setbacks:

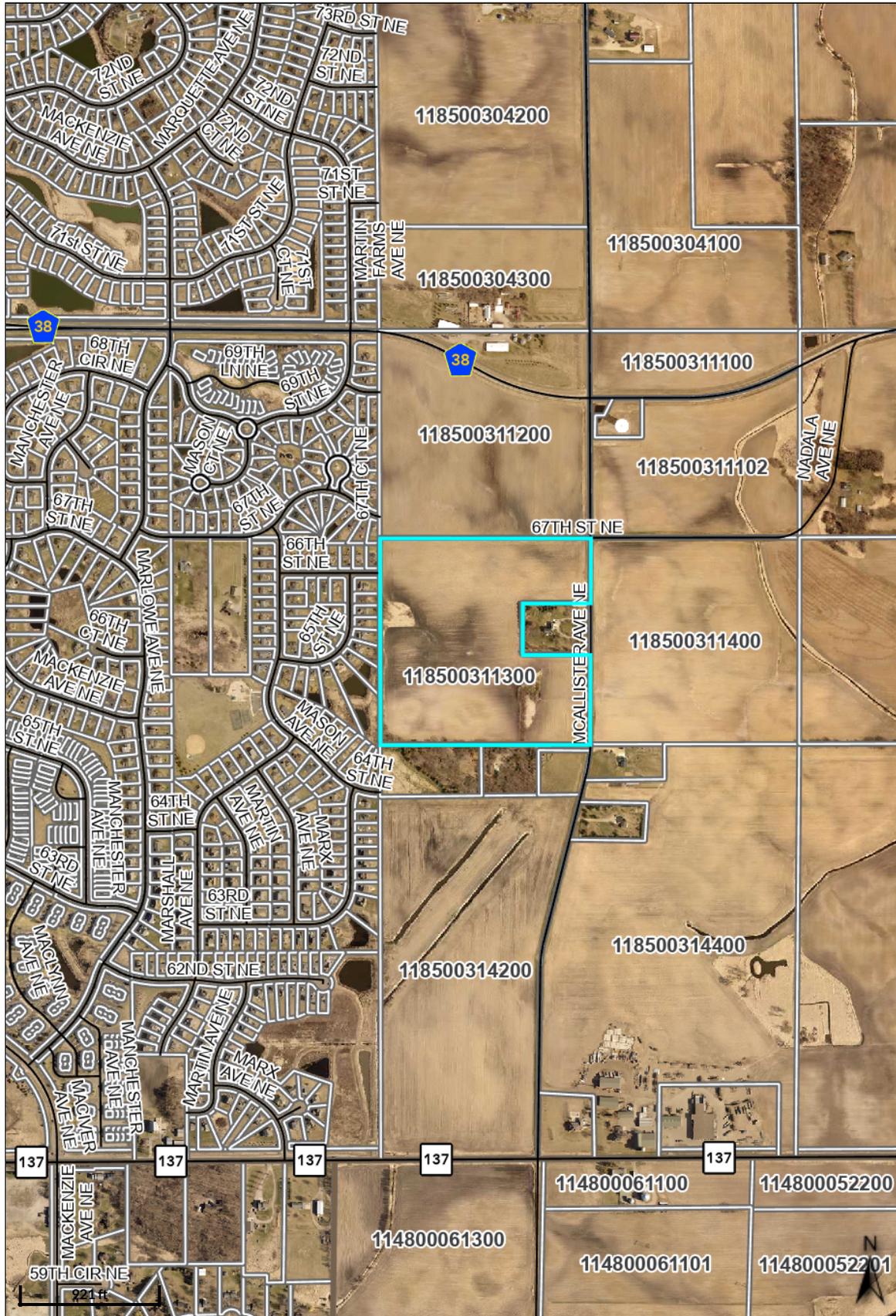
<b>Local ROW</b>	<b>Interior Side</b>	<b>Interior Rear</b>	<b>McAllister Avenue</b>	<b>Wetland Buffer</b>
25ft. house 30ft. garage	7ft.	20ft.	65ft.	20ft.

6. The preliminary plat shall be revised to extend either or both of Street 2 and Street 3 through Block 1 to provide for future street connection(s) to the abutting property to the north.
7. All grading, drainage, wetland impacts, and erosion control issues shall be subject to review and approval of the City Engineer.
8. The developer shall pay a Stormwater Impact Fee for Otsego Creek at the time of final plat approval.

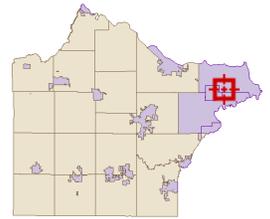
9. Trunk Water System:
    - a. The preliminary plat shall be revised to provide for acquisition of land by the City for a future water utility well.
    - b. The utility plan for the preliminary plat shall incorporate a raw water main extension to between the future water utility well and McAllister Avenue.
    - c. The developer will receive financial credit for the value of the property acquired and cost of construction related to the well and raw water main.
  10. All utility plans shall be subject to review and approval of the City Engineer.
  11. All drainage and utility easements shall be subject to review and approval of the City Engineer.
  12. Outlot A, B, C, and D shall be deeded to the City for stormwater management purposes.
  13. Outlot E shall be revised as two outlots encompassing potential future lots with dedication of right-of-way as illustrated on the sketch plan with the current plat.
  14. Park dedication requirements shall be satisfied as payment of a cash fee in lieu of land dedication at the time of final plat approval.
  15. The sketch plan for PID 118-500-311301 shall be revised to terminate as a cul-de-sac and not intersect McAllister Avenue.
- c. Adam Flaherty, City Administrator/Finance Director  
Audra Etzel, City Clerk  
Ron Wagner, City Engineer  
David Kendall, City Attorney

# Site Location

## Meadow Haven Preliminary Plat



### Overview



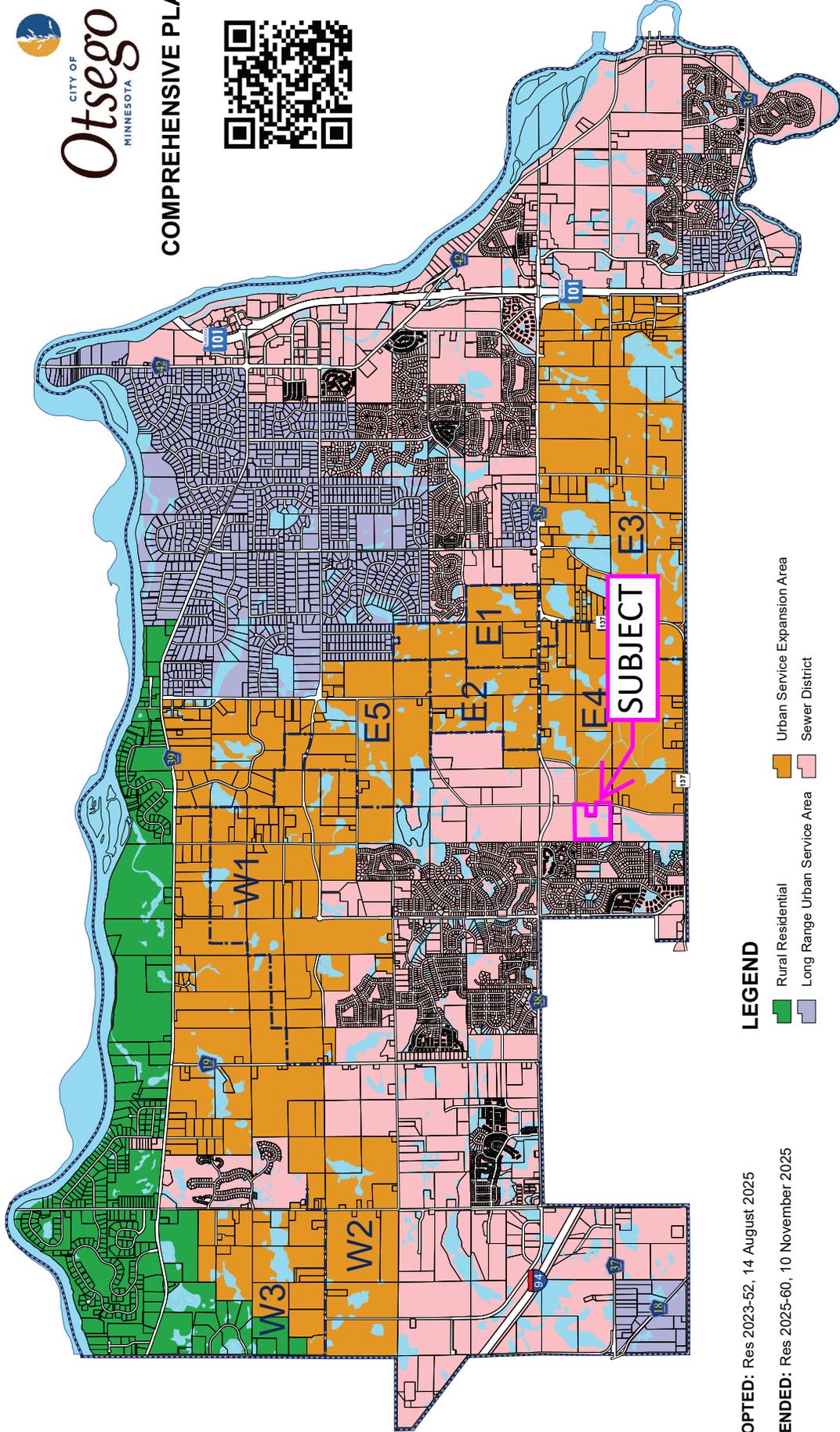
### Legend

#### Highways

- Interstate
- State Highway
- US Highway
- Roads

#### City/Township Limits

- c
- t
- Parcels
- Torrens

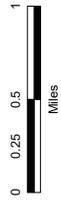


**ADOPTED:** Res 2023-52, 14 August 2025

**AMENDED:** Res 2025-60, 10 November 2025

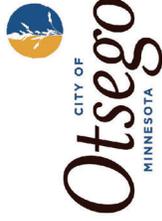
**LEGEND**

-  Rural Residential
-  Long Range Urban Service Area
-  Urban Service Expansion Area
-  Sewer District

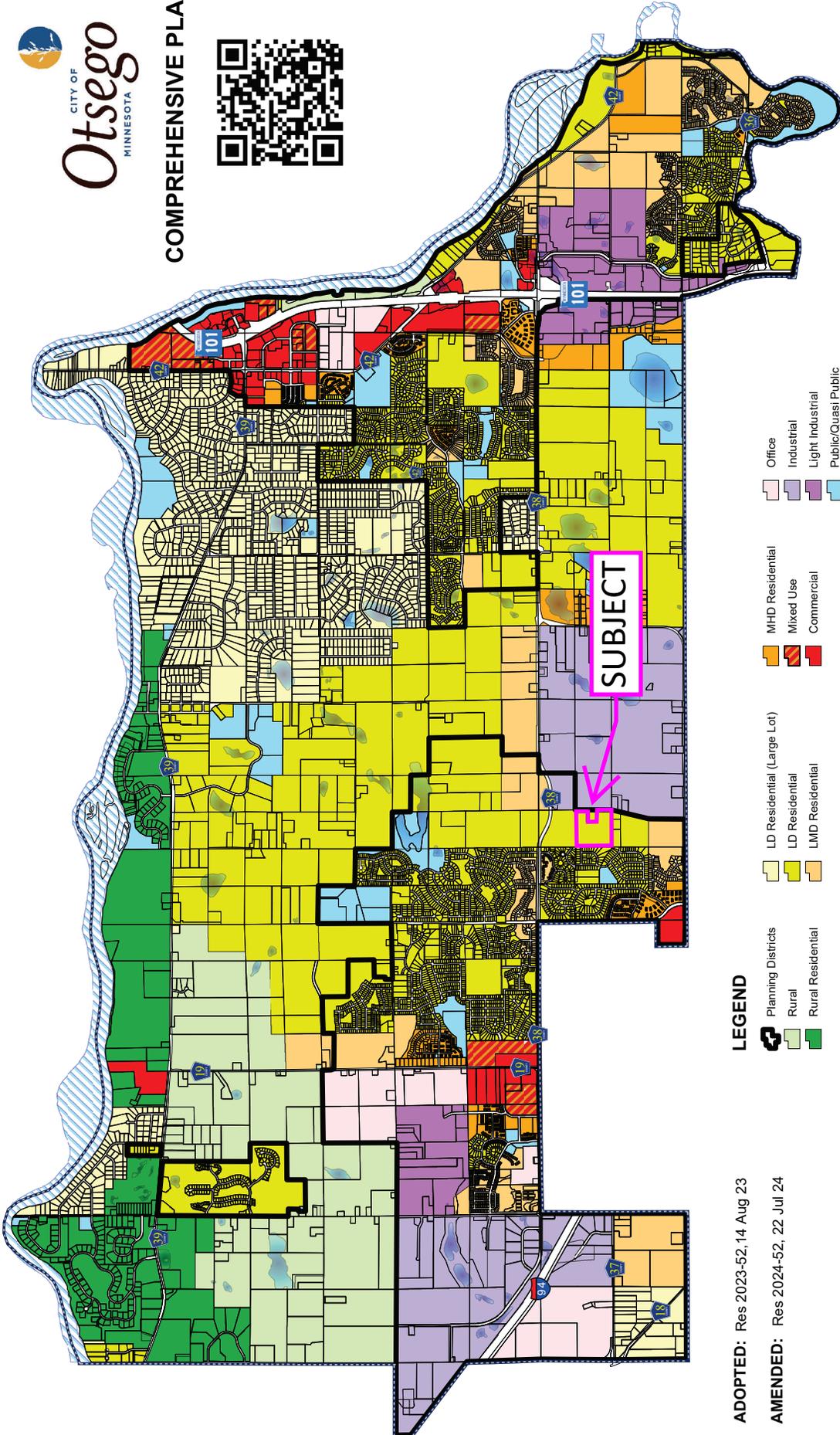


# URBAN SERVICE STAGING PLAN

**DISCLAIMER:**  
This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

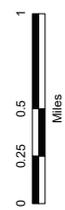


**COMPREHENSIVE PLAN 2023**



- LEGEND**
- Planning Districts
  - Rural
  - Rural Residential
  - LD Residential (Large Lot)
  - LD Residential
  - LMD Residential
  - MHD Residential
  - Mixed Use
  - Commercial
  - Office
  - Industrial
  - Light Industrial
  - Public/Quasi Public

**ADOPTED:** Res 2023-52, 14 Aug 23  
**AMENDED:** Res 2024-52, 22 Jul 24

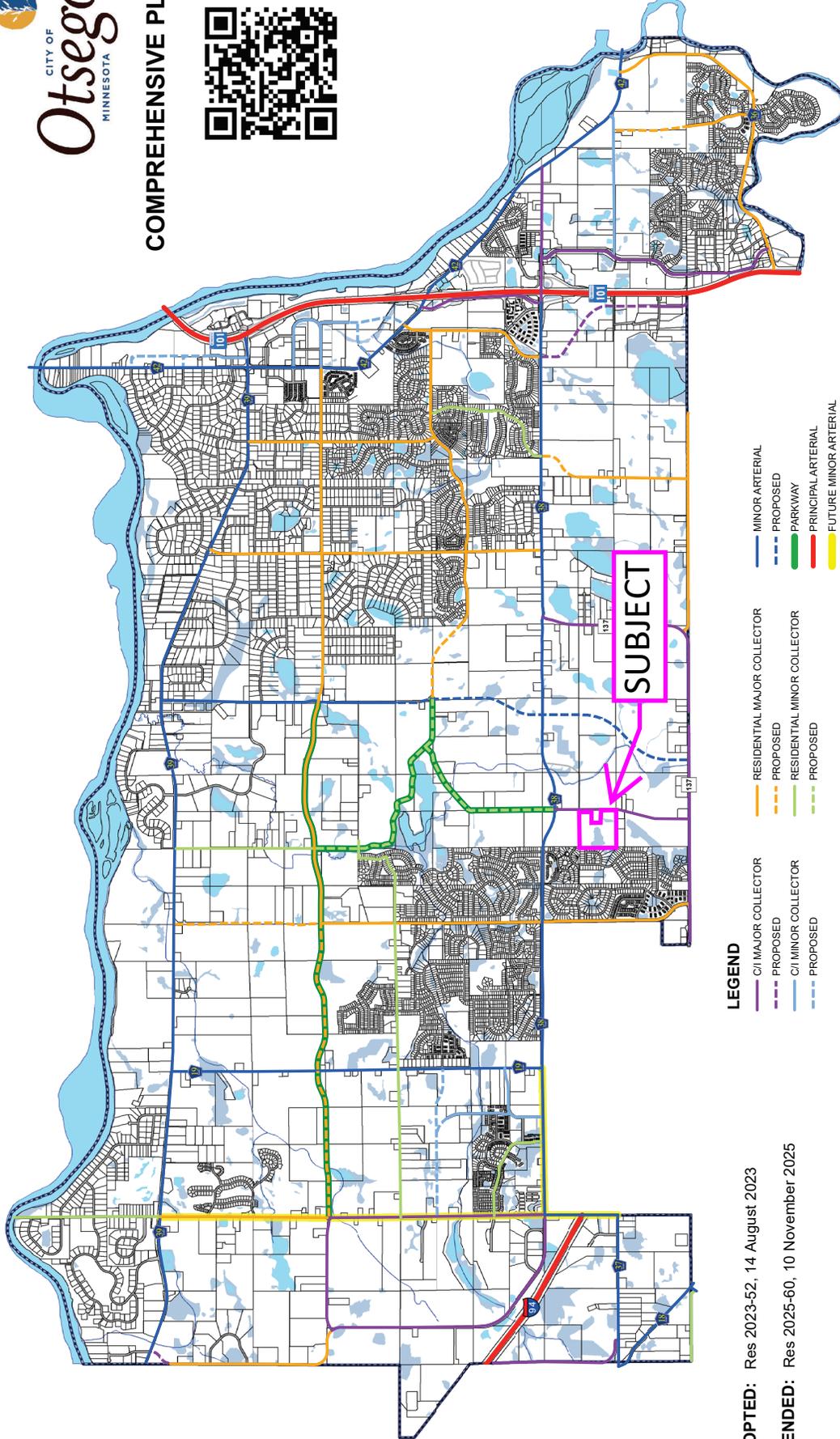


**FUTURE LAND USE PLAN**

**DISCLAIMER:**  
 This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.



K:\cad\_eng\PROJECTS\GIS\TPCOtsego\Comprehensive Plan 2012\Future Land Use Map

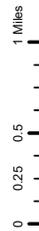


**LEGEND**

- CI MAJOR COLLECTOR
- - - PROPOSED
- CI MINOR COLLECTOR
- - - PROPOSED
- RESIDENTIAL MAJOR COLLECTOR
- - - PROPOSED
- RESIDENTIAL MINOR COLLECTOR
- - - PROPOSED
- MINOR ARTERIAL
- - - PROPOSED
- PARKWAY
- PRINCIPAL ARTERIAL
- FUTURE MINOR ARTERIAL

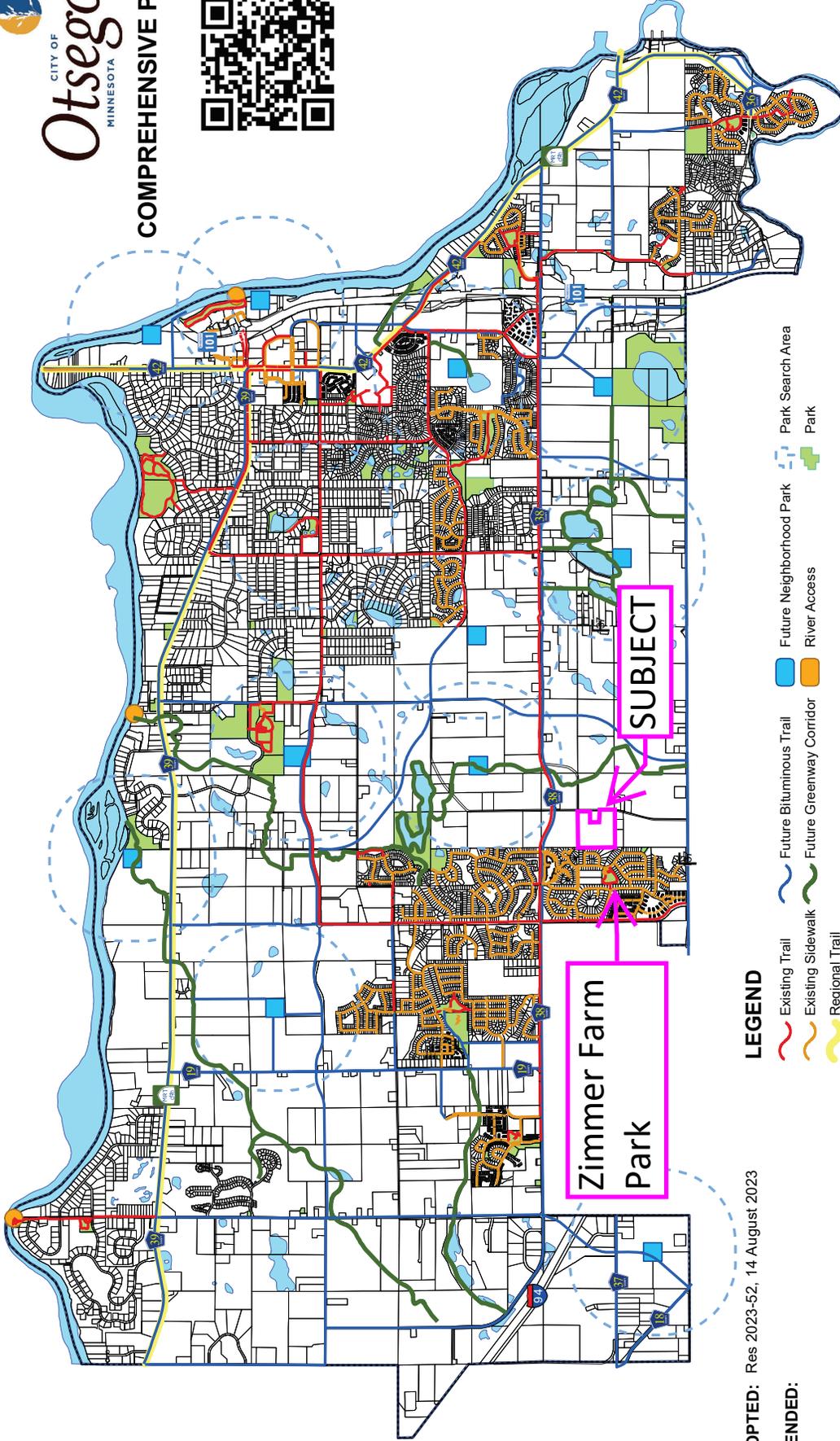
**ADOPTED:** Res 2023-52, 14 August, 2023

**AMENDED:** Res 2025-60, 10 November 2025



# TRANSPORTATION PLAN

**DISCLAIMER:**  
This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.



**LEGEND**

- Existing Trail
- Existing Sidewalk
- Regional Trail
- Future Bituminous Trail
- Future Greenway Corridor
- Future Neighborhood Park
- River Access
- Park Search Area
- Park

ADOPTED: Res 2023-52, 14 August 2023

AMENDED:



# FUTURE PARK AND TRAIL SYSTEM

**DISCLAIMER:**  
This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.



Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

**LEGEND**

○	SAWFY PIVOTABLE
□	CATCH BASIN
▭	RAISED END SECTION
▭	FLARED END SECTION
◇	HYDRANT
⊥	GRIP NAIL
⊥	GRIP WIRE
⊥	POWER POLE
⊥	TELEPHONE BOX
⊥	STEEL WOOD POST
⊥	SPIN
—	BOUNDARY LINE
—	RIGHT-OF-WAY LINE
—	LOT LINE
—	GRANDFATHER LINE
—	SECTION LINE
—	TRAIL LINE
—	POWER OVERHEAD
—	SAWFY FEWER
—	STONY SIVER
—	WATERWAY
—	ENCLOSURE
—	RETURN/VOID SWAMP
—	GRAVEL SWAMP
—	WETLAND
—	FOUND MONUMENT

**PROPERTY DESCRIPTION**

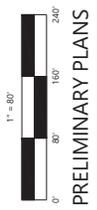
The boundary lines shown on this plan were derived from the original survey of the property, which was recorded in the National Tax Insurance Company, File Number 658336, which has an effective date of April 26, 2024 at 7:00 AM.

The Southwest Quarter of the Northeast Quarter of Section 31, Township 121 N, Range 23, South of the 1/4 Section Line, is hereby being surveyed and shown as a portion of the Southwest Quarter of the Northeast Quarter of Section 31, Township 121 N, Range 23, Wright County, Minnesota.

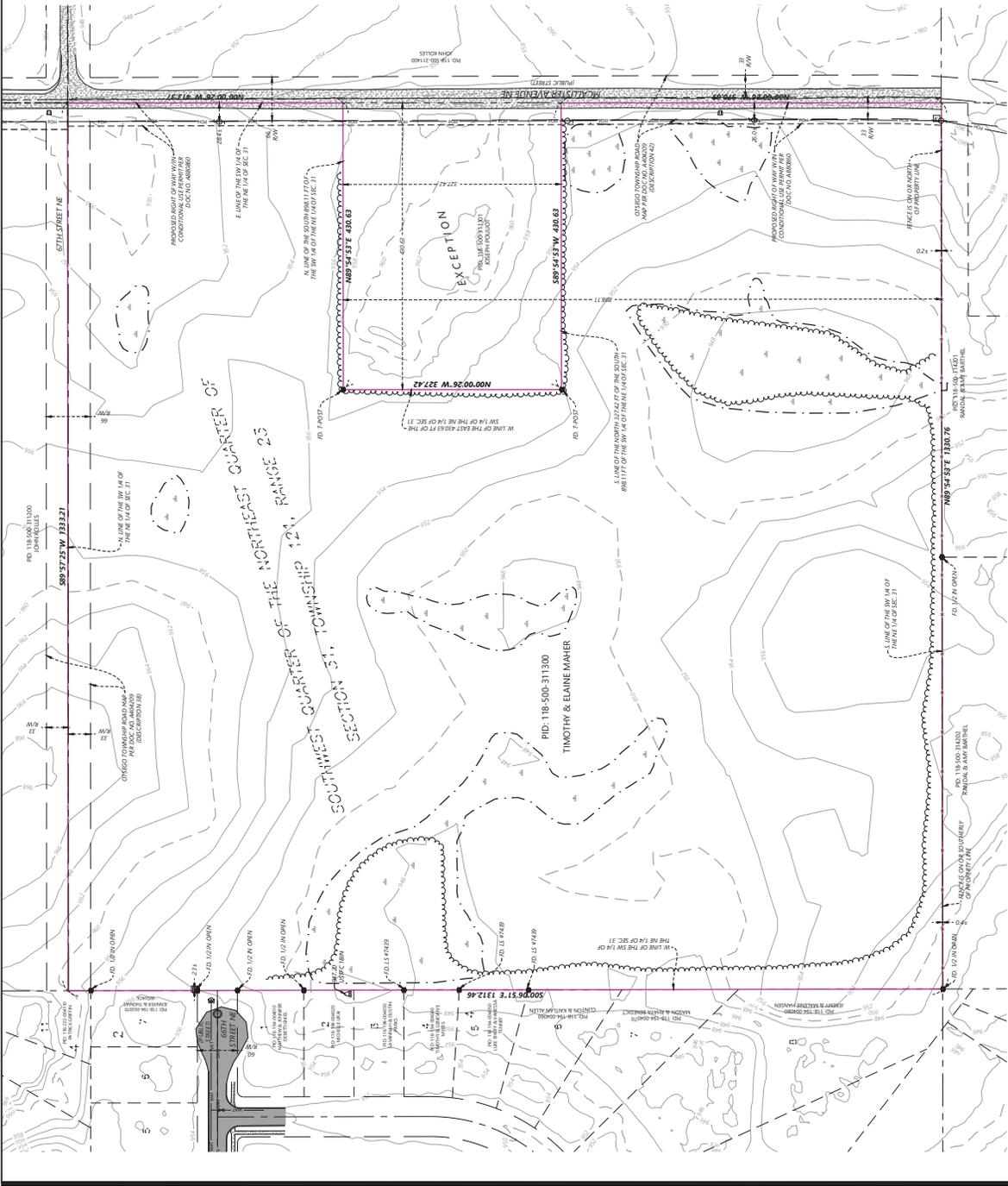
Abstract Property.

**GENERAL NOTES**

1. Bearings of property lines shown herein are based on the Wright County coordinate system, NAD 83 - 2011 Control Adjustment.
2. Lengths of lines and distances between features are measured in US Survey Feet.
3. Elevations and ground surface elevations shown herein are relative to the NAD 83 vertical datum and are relative to Benchmark RNDOT 86828 which has an elevation of 846.22.



**PRELIMINARY PLANS**



SHEET NUMBER: **02** OF **24**  
 DATE: 02/02/26

**EXISTING CONDITIONS**



**MEADOW HAVEN**  
 OTSEGO, MN

PREPARED BY: ERNEST W. WIRTZ, JR.  
 DATE: 02/02/26, LICENSE NO. 65119

PREPARED FOR: **SUMMERGATE COMPANIES LLC**  
 12905 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DESIGNED	TDG
CHECKED	CFP
DRAWN	DWM
HORIZONTAL SCALE	AS SHOWN
VERTICAL SCALE	1" = 80.0'

### LOT STANDARDS: SINGLE FAMILY

STANDARD	SINGLE FAMILY (65 & 75 LOTS)
MINIMUM LOT AREA	9,000 SF
MINIMUM LOT AREA (R10)	10,100 SF
MINIMUM LOT AREA (R15)	11,300 SF
MINIMUM LOT WIDTH	30 FT SIDE SETBACK
MINIMUM LOT DEPTH	30 FT
MINIMUM GARAGE WAREHOUSE	80 SQ. FT.
MINIMUM INTERLOT	7.7'-14' TOTAL
MINIMUM SIDE SETBACK	25'
MINIMUM FRONT SETBACK	20'
MINIMUM REAR SETBACK	10' MIN. 20' AVG.
MINIMUM BUFFER STRUCTURES SETBACK	20'

### SITE DEVELOPMENT DATA

- EXISTING ZONING: R-10
- PROPOSED ZONING: R-15
- EXISTING SITE AREA: 30,834 AC
- EXISTING WETLANDS TO REMAIN: 2,318 AC
- NET SITE AREA: 30,834 AC
- DEVELOPMENT SUMMARY:
  - 65 SF HOMES (B1L3, B1L3)
  - 74 LOTS
  - 75 SF HOMES (B1L3, B1L3)
  - 6 LOTS
  - TOTAL SINGLE FAMILY HOMES: 80 LOTS
- PROJECT DENSITY: 2.61 UNITS/AC
- GROSS AREA: 21,217 SQ. FT.
- NET: 22,591 W/AC

### OUTLET TABLE

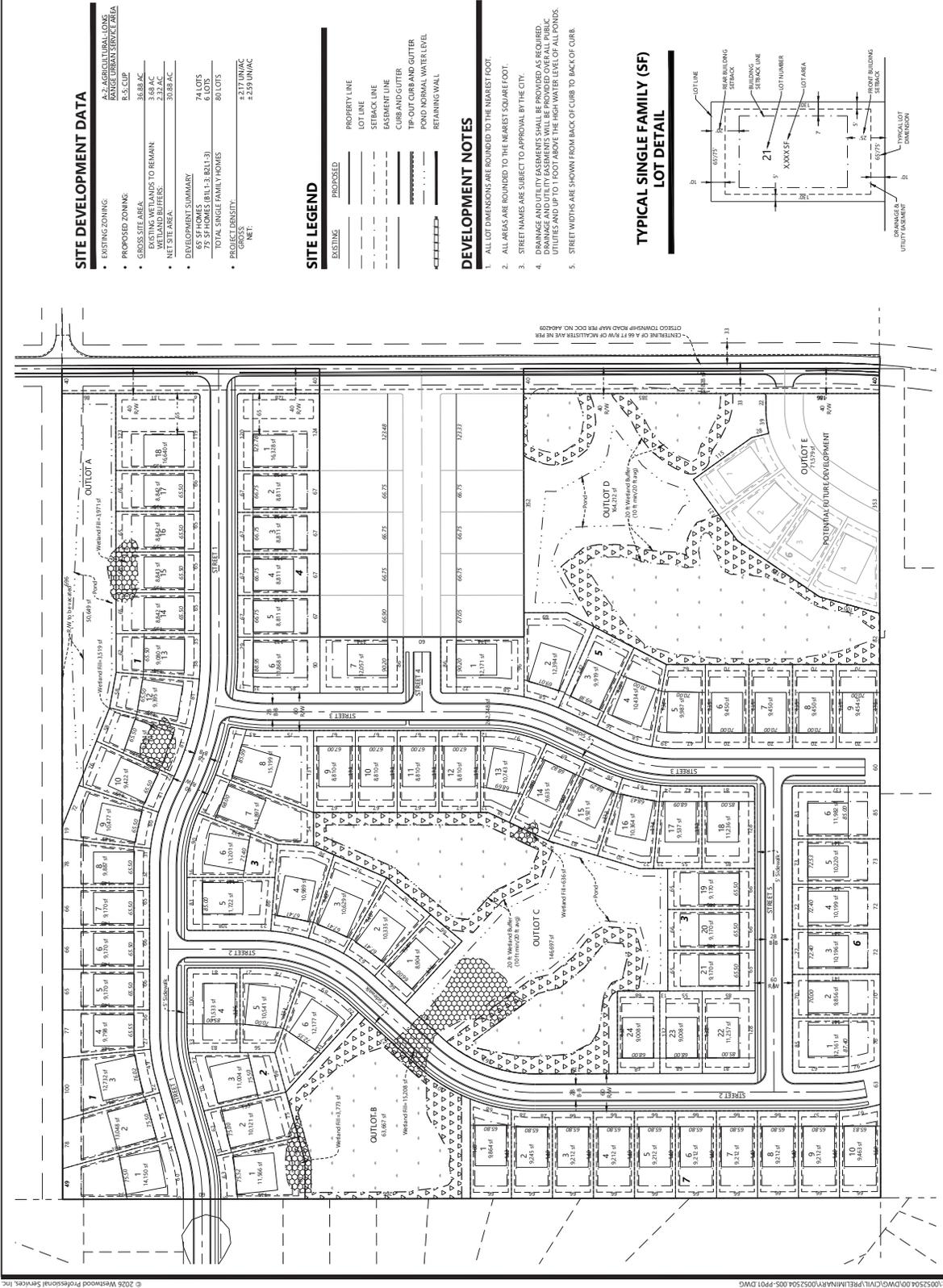
OUTLET	USE	OWNSHIP	GROSS AREA
A	WETLAND/FOREST	CITY	1.86 AC
B	WETLAND	CITY	3.37 AC
C	WETLAND/FOREST	CITY	3.37 AC
D	WETLAND/FOREST	CITY	3.37 AC
E	POTENTIAL DEVELOPMENT	DEVELOPER	1.94 AC

### SITE LEGEND

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
LOT LINE	LOT LINE
SETBACK LINE	SETBACK LINE
BASINMENT LINE	BASINMENT LINE
WETLAND BUFFER	WETLAND BUFFER
CURB AND GUTTER	CURB AND GUTTER
TIP-OUT CURB AND GUTTER	TIP-OUT CURB AND GUTTER
POND NORMAL WATER LEVEL	POND NORMAL WATER LEVEL
RETAINING WALL	RETAINING WALL

### DEVELOPMENT NOTES

- ALL LOT DIMENSIONS ARE ROUNDED TO THE NEAREST FOOT.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
- DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED.
- DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO 1 FOOT ABOVE THE HIGH WATER LEVEL OF ALL PONDS.
- STREET WIDTHS ARE SHOWN FROM BACK OF CURB TO BACK OF CURB.



MEADOW HAVEN  
 OTSEGO, MN

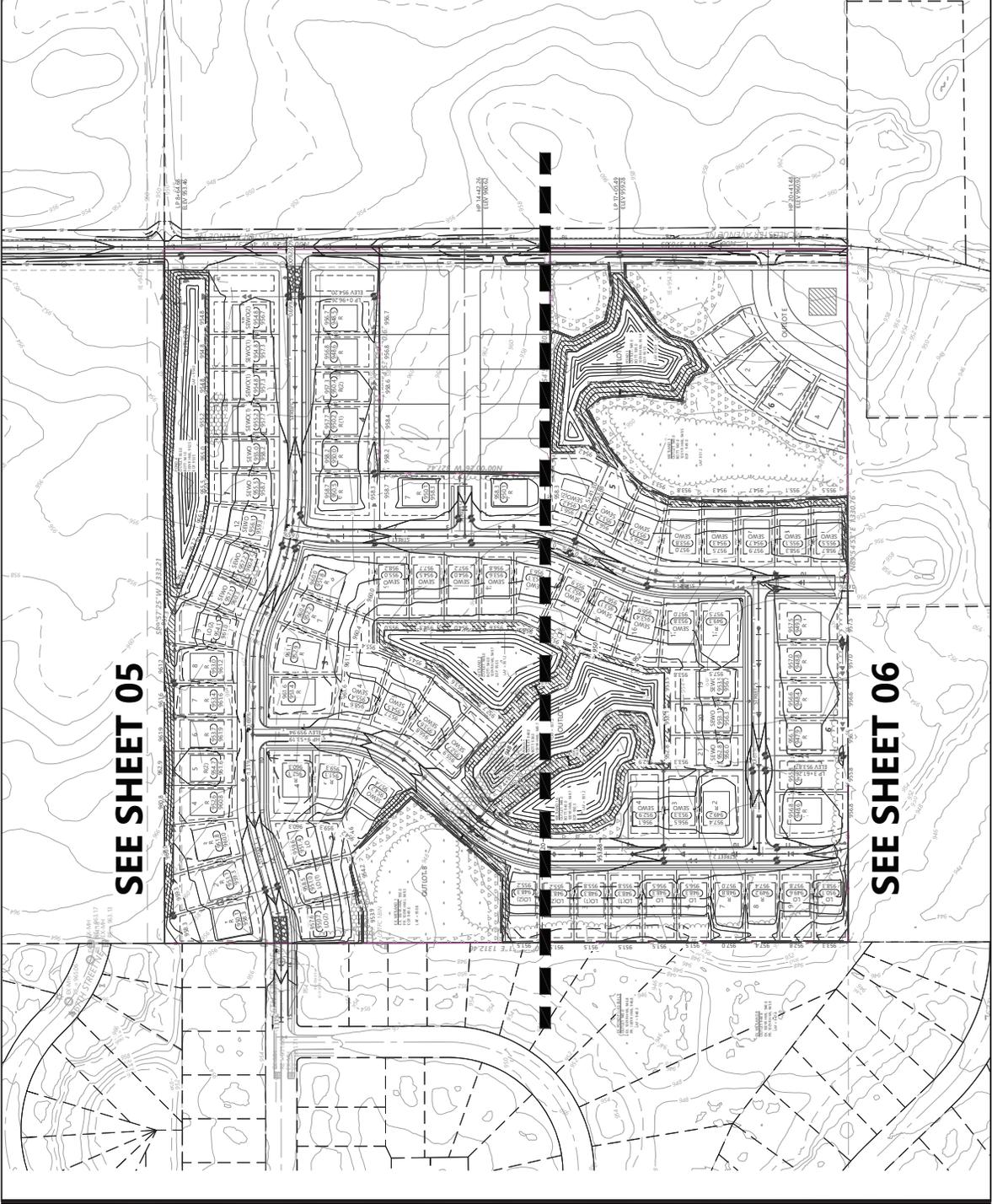
PREPARED FOR:  
**SUMMERSGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DATE: 02/02/26

DESIGNED: [ ]  
 CHECKED: [ ]  
 DRAWN: [ ]  
 HORIZONTAL SCALE: [ ]  
 VERTICAL SCALE: [ ]

WESTWOOD  
 Phone: (888) 815-5100  
 1800 Westwood Professional Services, Inc.

SHEET NUMBER: **03** OF **24**  
 PRELIMINARY PLAT  
 PROJECT NUMBER: 0052504-00  
 DATE: 02/02/26



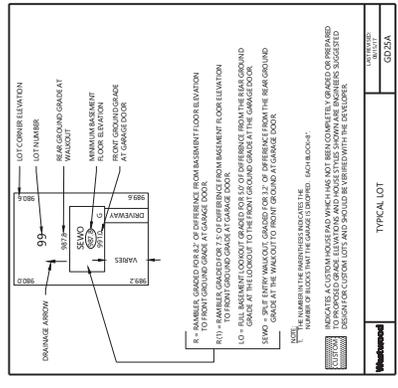
Call 48 Hours before digging:  
**811** or call **811.com**  
 Common Ground Alliance

### GRADING & DRAINAGE NOTES

1. ALL CONCRETE FOOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
2. REFER TO THE SITE PLAN/RECORD PLAN FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VISIT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
4. ALL CONSTRUCTION SHALL CONFORM TO LOCAL RULES.
5. POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.

### EROSION CONTROL NOTES

1. ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL FURTHER GROUND COVER HAS BEEN ESTABLISHED. EROSION CONTROL FEATURES SHALL BE MAINTAINED AND EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO SOIL TYPE, VEGETATION, AND WEATHER CONDITIONS. SILT FENCES, SLOTTED SAND BAGS, ETC. SHALL BE ACCORDANT TO THE GRADING CONTRACT.
2. SILENT EROSION CONTROL FEATURES MUST BE INSTALLED AT THE END OF EACH WORKING DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
3. REDUNDANT PERIMETER SEDIMENT CONTROLS ARE NECESSARY WHEN SOIL DISTURBANCE IS WITHIN 50 FEET OF SURFACE WATERS. REDUNDANT SEDIMENT CONTROLS COULD INCLUDE:
  - 3.1. SILT FENCE AND A TOPSOIL BERM (STABILIZE BERM WITH MULCH) OR
  - 3.2. SILT FENCE AND FIBER LOGS (STABILIZE BERM WITH MULCH) OR
  - 3.3. SILT FENCE AND FIBER LOGS (STABILIZE BERM WITH MULCH).
4. REDUNDANT SEDIMENT CONTROLS MUST BE INSTALLED PRIOR TO DISTURBING WITHIN 50 FEET OF THE SURFACE WATER.



1" = 100'

PRELIMINARY PLANS

SHEET NUMBER: **04** OF **24**  
 DATE: 02/02/26

OVERALL PRELIMINARY  
 GRADING, DRAINAGE  
 AND EROSION CONTROL  
 PROJECT NUMBER: 0052504.00

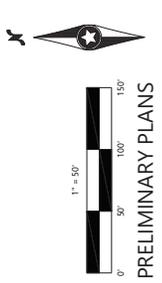
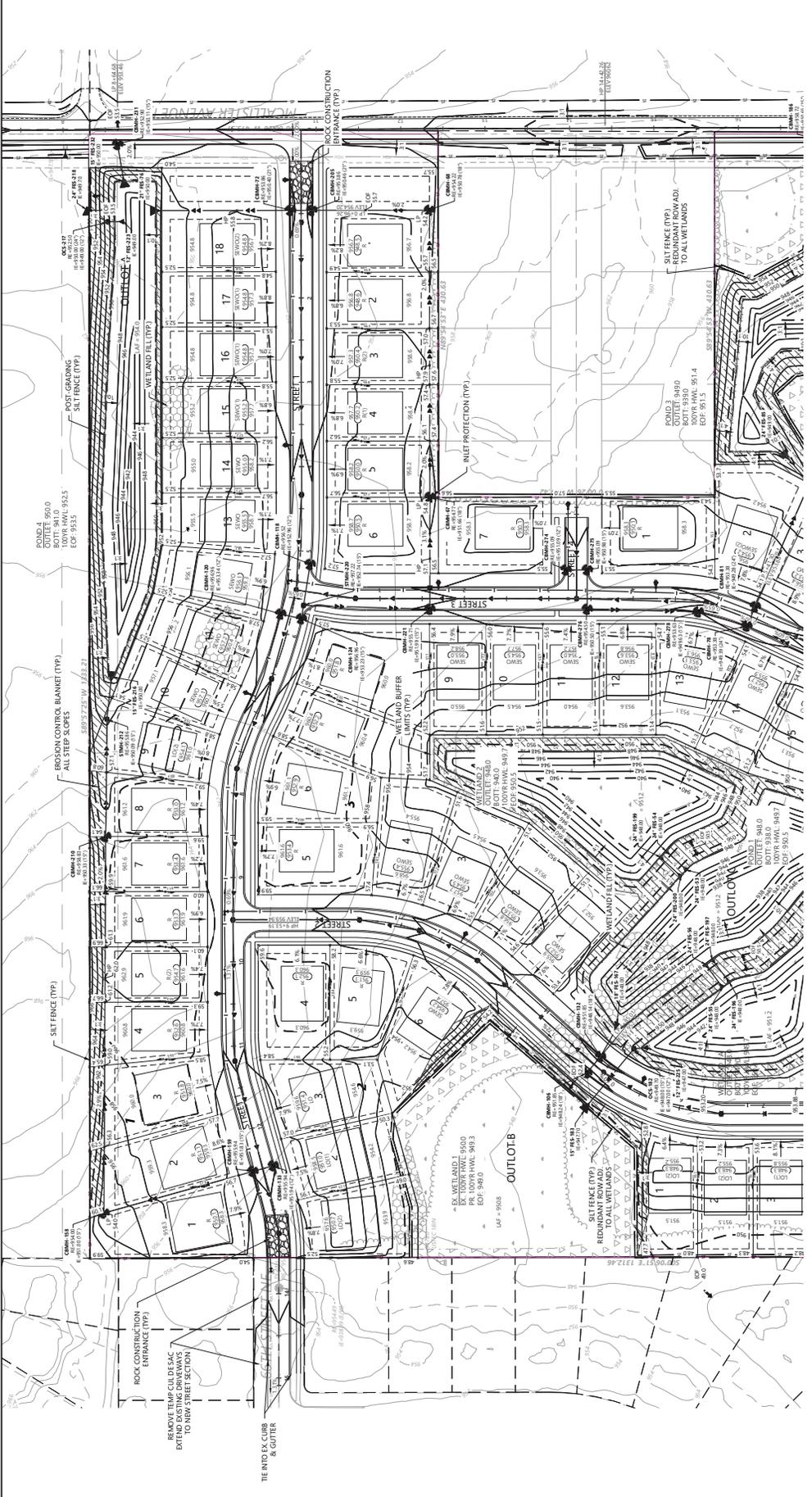


MEADOW HAVEN  
 OT SEGO, MN

PREPARED FOR:  
**SUMMERGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DATE: 02/02/26  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 DESIGNED BY: [Signature]

DESIGNED	DATE
CHECKED	DATE
DRAWN	DATE
APPROVED	DATE
VERTICAL SCALE	20' OR 1"



**PRELIMINARY PLANS**

PROPOSED	PROPOSED	PROPOSED	PROPOSED

PROPOSED	EXISTING	PROPOSED	EXISTING

PROPOSED	EXISTING	PROPOSED	EXISTING

**GRADING LEGEND**

PROPOSED	EXISTING	PROPOSED	EXISTING

SHEET NUMBER: **05** OF **24**  
 DATE: 02/02/26  
 PROJECT NUMBER: 0052504.00

**PRELIMINARY GRADING  
 DRAINAGE AND EROSION  
 CONTROL**



**MEADOW HAVEN**  
 OTSEGO, MN

PREPARED FOR:  
**SUMMERGATE COMPANIES LLC**  
 12305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

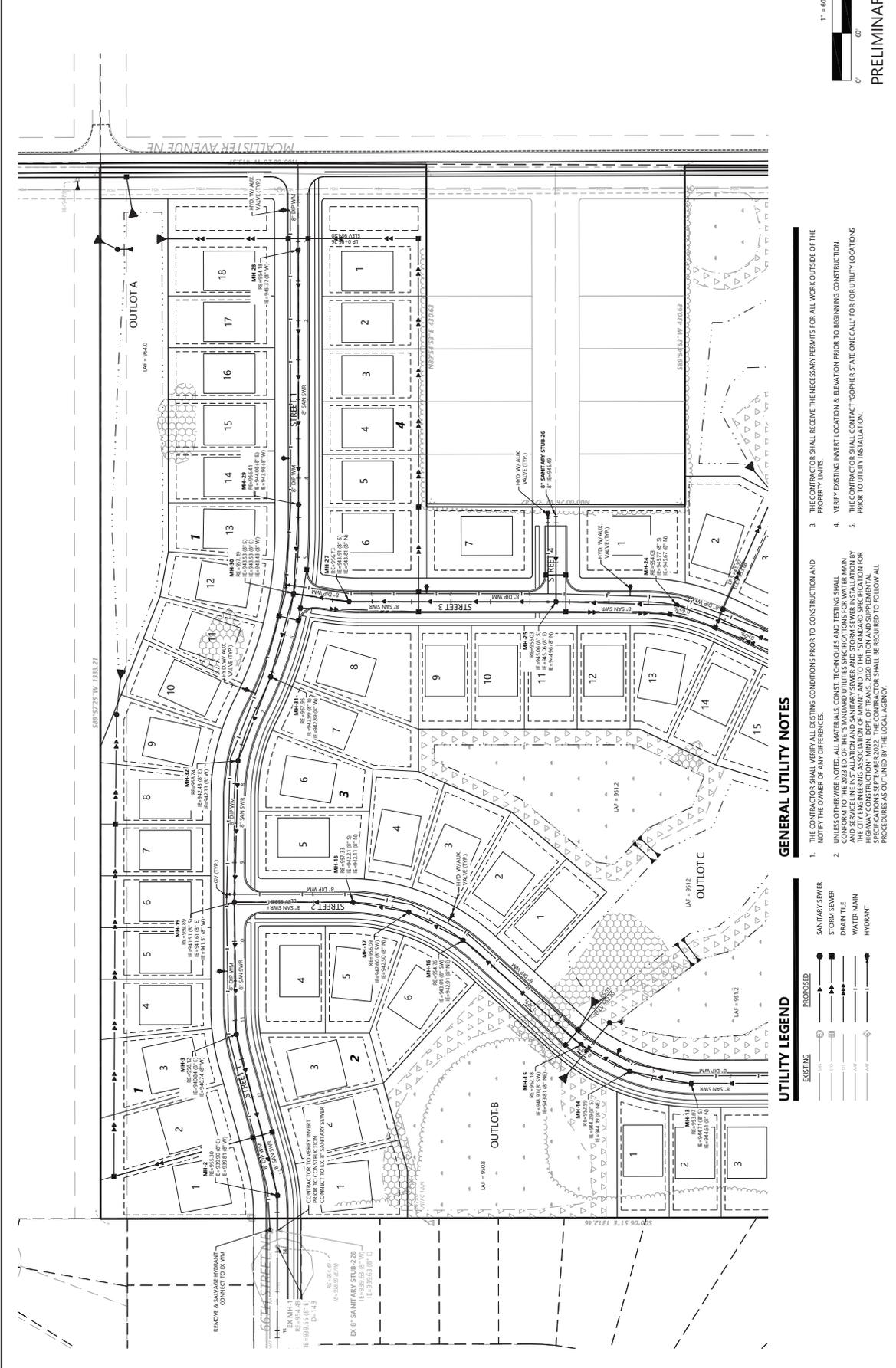
DATE: 02/02/26  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 DESIGNED BY: [Signature]

DESIGNED	DRAWN	CHECKED	DATE
[Signature]	[Signature]	[Signature]	02/02/26

UNLESS OTHERWISE NOTED, THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 THOMAS D. BERTSCHER  
 DATE: 02/02/26, LICENSE NO.: 51640







**PRELIMINARY PLANS**

**GENERAL UTILITY NOTES**

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DIFFERENCES.
2. UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 2023 ED. OF THE STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN, STORM SEWER, SANITARY SEWER, DRAIN TILE, AND TO THE STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, MINN. DEPT. OF TRANS. 2020 EDITION AND SUPPLEMENTAL SPECIFICATIONS TO THE STANDARD SPECIFICATIONS. ALL SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
3. THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
4. VERIFY EXISTING INVERT LOCATION & ELEVATION PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL CONTACT "SOPHIE'S STATE ONECALL" FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.

**UTILITY LEGEND**

- |  |          |  |          |
|--|----------|--|----------|
|  | EXISTING |  | PROPOSED |



**MEADOW HAVEN**  
 OTSEGO, MN

DESIGNED BY: THOMAS D. BRESCHTER  
 DATE: 02/02/26, LICENSE NO.: 51640

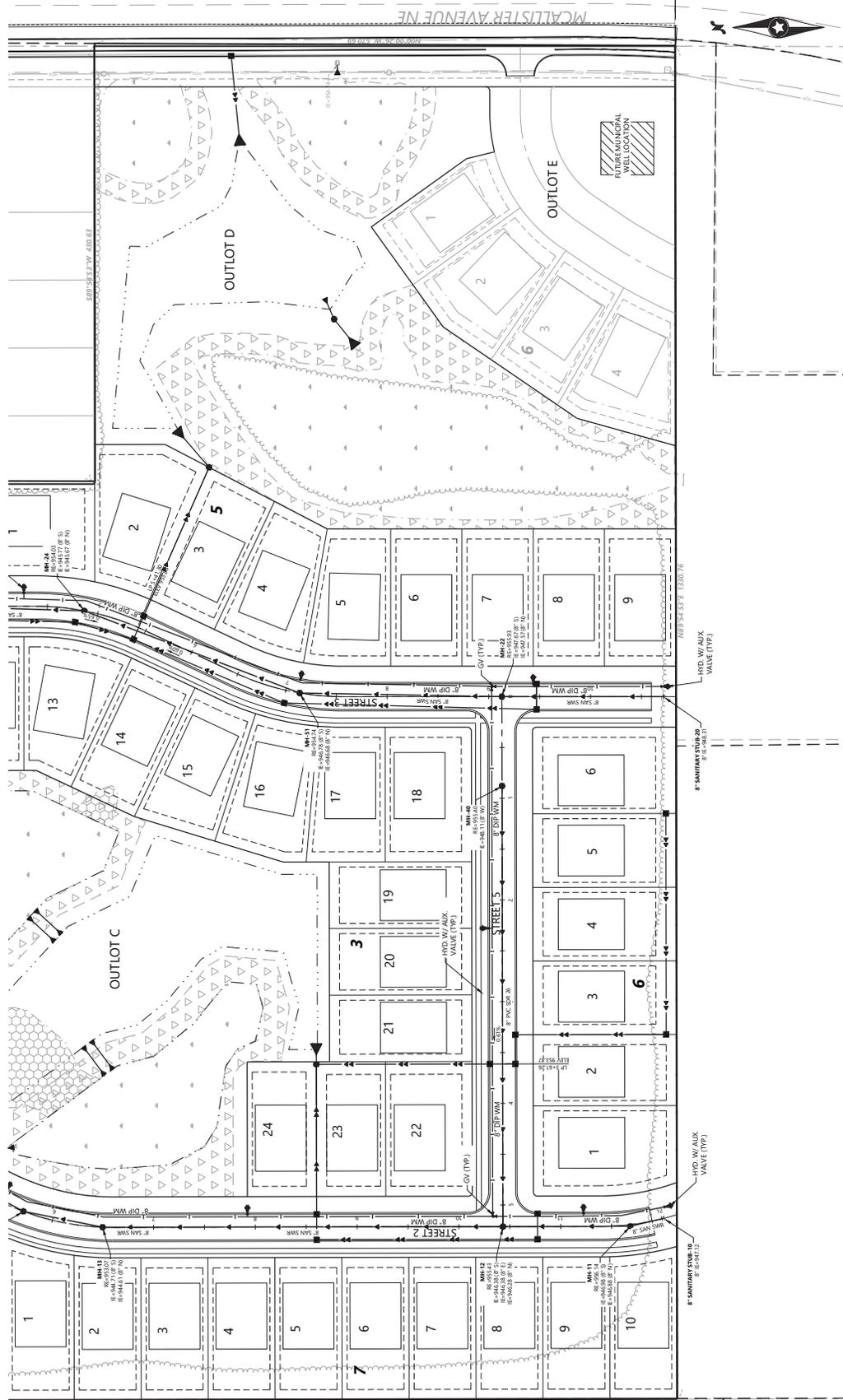
PREPARED FOR:  
**SUMMERSGATE COMPANIES LLC**  
 12905 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DATE: 02/02/26	BY: [Signature]
DATE: [Blank]	BY: [Blank]
DATE: [Blank]	BY: [Blank]
DATE: [Blank]	BY: [Blank]

DESIGNED	DATE: [Blank]
CHECKED	DATE: [Blank]
DRAWN	DATE: [Blank]
INTERIOR SCALE	DATE: [Blank]
VERTICAL SCALE	DATE: [Blank]

Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

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1" = 60'  
 0' 60' 120' 180'

PRELIMINARY PLANS

DESIGNED	TD
CHECKED	CF
DRAWN	DW
HORIZONTAL SCALE	1" = 60'
VERTICAL SCALE	1" = 60'

DATE: 02/02/26

PREPARED FOR:

**SUMMERGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

PROJECT NUMBER: 0052504.00  
 DATE: 02/02/26  
 LICENSE NO.: 51640

**MEADOW HAVEN**  
 OTSEGO, MN

**Westwood**  
 Phone: (920) 215-5300 12701 Whiteaker Drive, Suite 1100  
 (888) 215-5300 westwood@westwood.com  
 Westwood Professional Services, Inc.

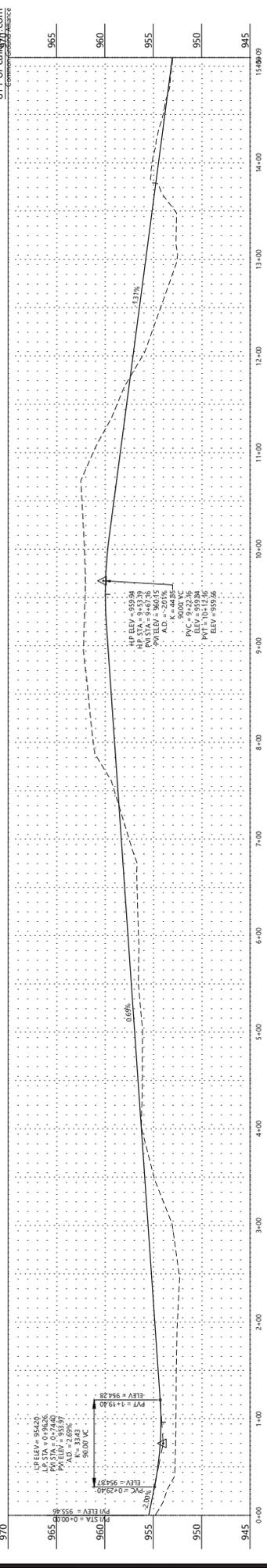
PRELIMINARY UTILITY PLAN

SHEET NUMBER: **09** OF **24**  
 DATE: 02/02/26

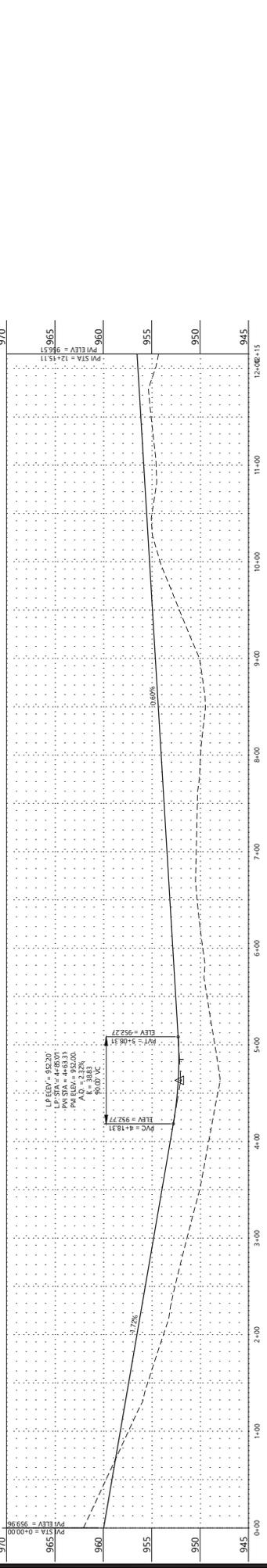
MEADOW HAVEN

Call 48 Hours before digging:  
**811 or call 811.com**  
 COMMUNITY SAFETY

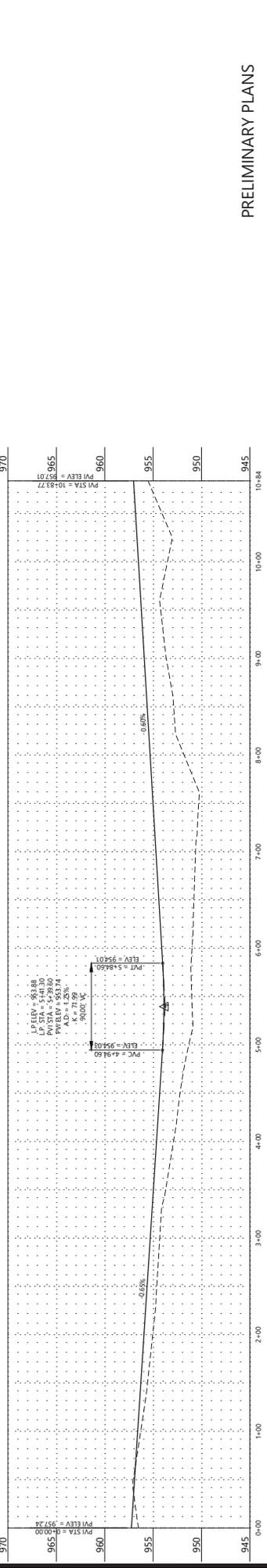
# STREET 01



# STREET 02



# STREET 03



## PRELIMINARY PLANS

SHEET NUMBER: **10** OF **24**  
 DATE: 02/02/26

PROJECT NUMBER: 0052504.00



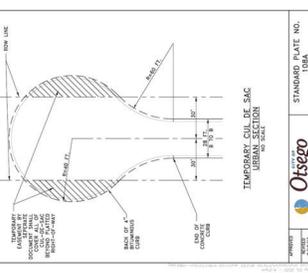
**MEADOW HAVEN**  
 OTSEGO, MN

PREPARED BY: THOMAS D. BIEDOTTER  
 DATE: 02/02/26, LICENSE NO.: 51640

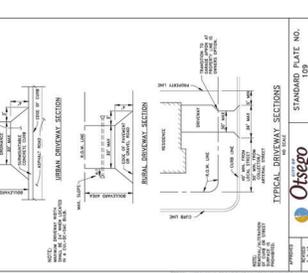
PREPARED FOR: **SUMMERGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DESIGNED	____
CHECKED	____
DRAWN	____
INTERIOR SCALE	____
VERTICAL SCALE	____

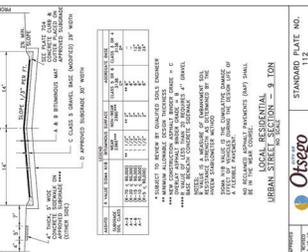




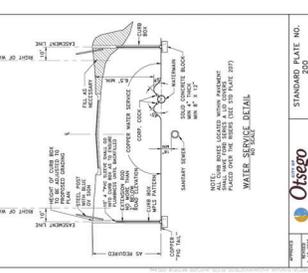
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 Otsego



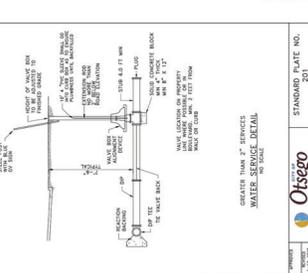
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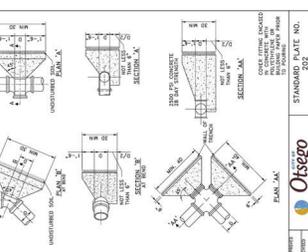
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 Otsego



STANDARD PLATE NO. 200  
 Otsego

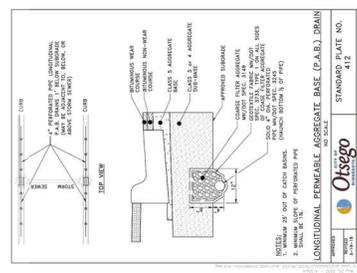
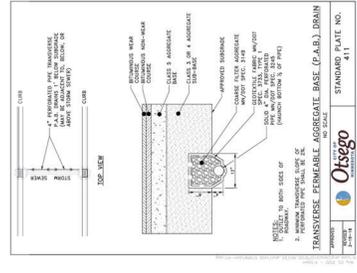
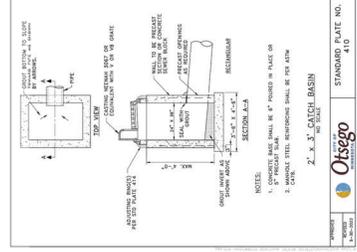
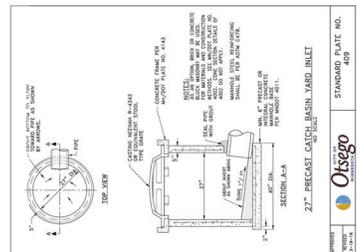
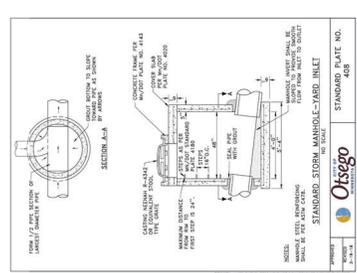
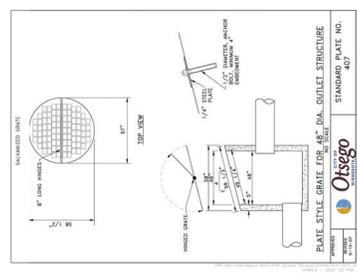
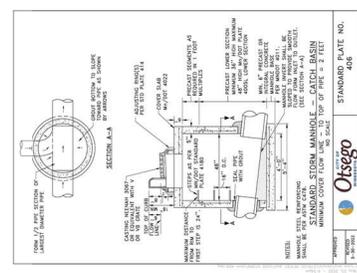
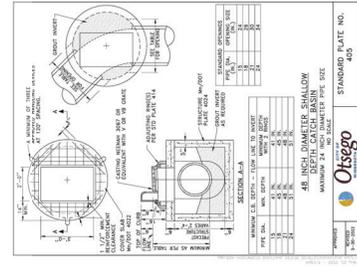
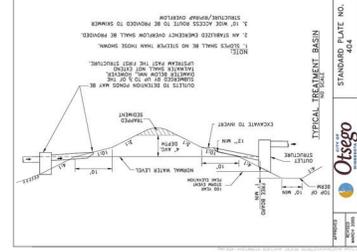
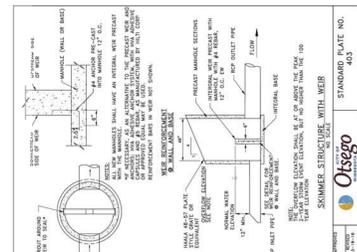
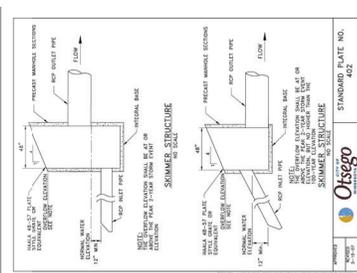
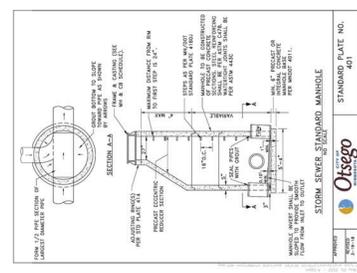
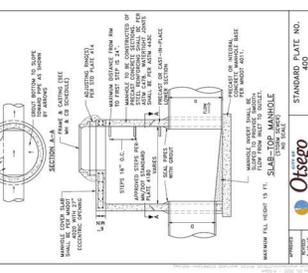
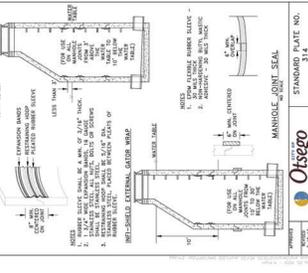
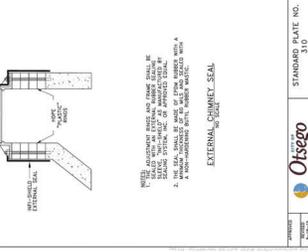
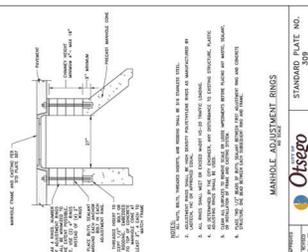
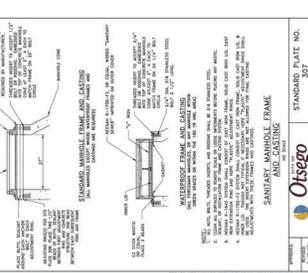
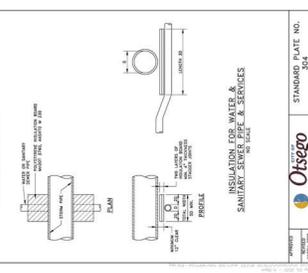


STANDARD PLATE NO. 201  
 Otsego



STANDARD PLATE NO. 202  
 Otsego

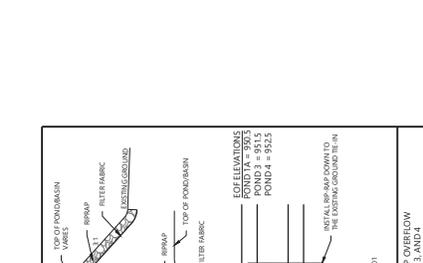
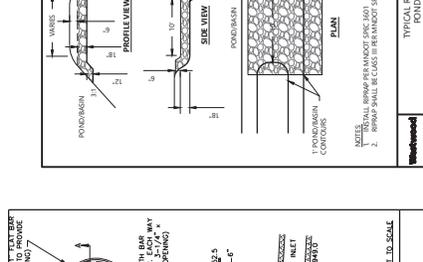
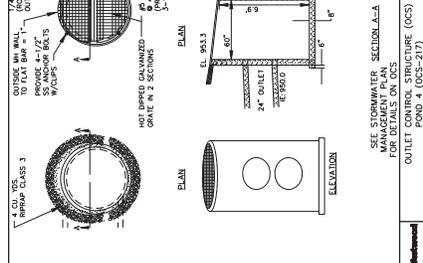
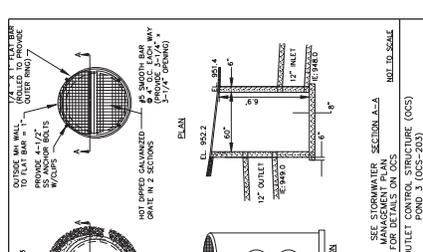
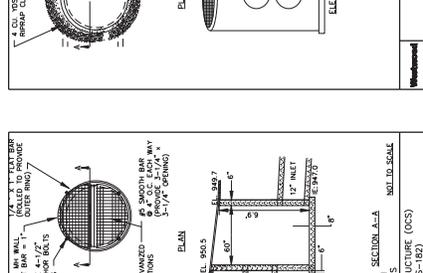
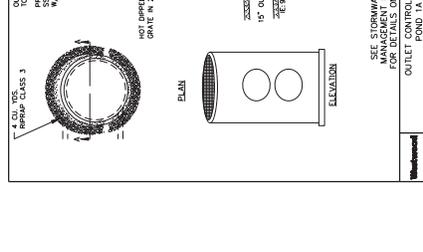
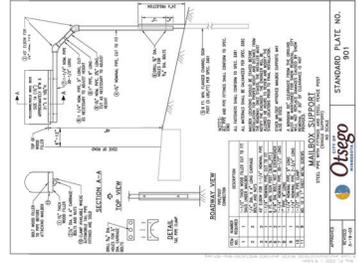
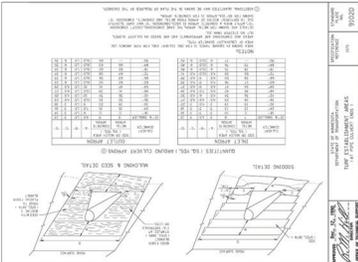
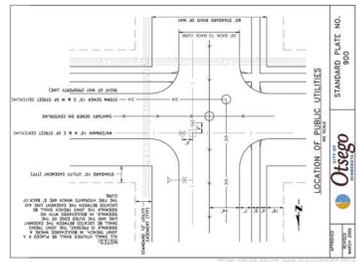
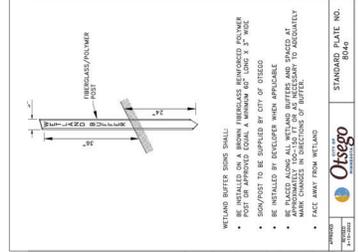
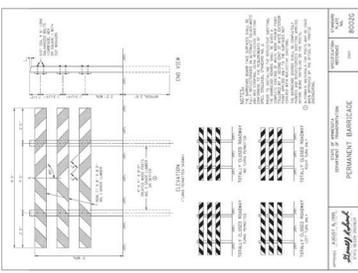
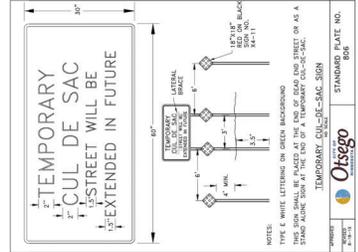
PIPE SIZE	TYPE OF PLASTIC	MINIMUM WALL THICKNESS (AS MANUFACTURED)	MINIMUM WALL THICKNESS (AS INSTALLED)
12"	HDPE	0.150	0.150
15"	HDPE	0.187	0.187
18"	HDPE	0.219	0.219
21"	HDPE	0.250	0.250
24"	HDPE	0.281	0.281
30"	HDPE	0.344	0.344
36"	HDPE	0.406	0.406
42"	HDPE	0.469	0.469
48"	HDPE	0.531	0.531
54"	HDPE	0.594	0.594
60"	HDPE	0.656	0.656
66"	HDPE	0.719	0.719
72"	HDPE	0.781	0.781
78"	HDPE	0.844	0.844
84"	HDPE	0.906	0.906
90"	HDPE	0.969	0.969
96"	HDPE	1.031	1.031
102"	HDPE	1.094	1.094
108"	HDPE	1.156	1.156
114"	HDPE	1.219	1.219
120"	HDPE	1.281	1.281
126"	HDPE	1.344	1.344
132"	HDPE	1.406	1.406
138"	HDPE	1.469	1.469
144"	HDPE	1.531	1.531
150"	HDPE	1.594	1.594
156"	HDPE	1.656	1.656
162"	HDPE	1.719	1.719
168"	HDPE	1.781	1.781
174"	HDPE	1.844	1.844
180"	HDPE	1.906	1.906
186"	HDPE	1.969	1.969
192"	HDPE	2.031	2.031
198"	HDPE	2.094	2.094
204"	HDPE	2.156	2.156
210"	HDPE	2.219	2.219
216"	HDPE	2.281	2.281
222"	HDPE	2.344	2.344
228"	HDPE	2.406	2.406
234"	HDPE	2.469	2.469
240"	HDPE	2.531	2.531
246"	HDPE	2.594	2.594
252"	HDPE	2.656	2.656
258"	HDPE	2.719	2.719
264"	HDPE	2.781	2.781
270"	HDPE	2.844	2.844
276"	HDPE	2.906	2.906
282"	HDPE	2.969	2.969
288"	HDPE	3.031	3.031
294"	HDPE	3.094	3.094
300"	HDPE	3.156	3.156
306"	HDPE	3.219	3.219
312"	HDPE	3.281	3.281
318"	HDPE	3.344	3.344
324"	HDPE	3.406	3.406
330"	HDPE	3.469	3.469
336"	HDPE	3.531	3.531
342"	HDPE	3.594	3.594
348"	HDPE	3.656	3.656
354"	HDPE	3.719	3.719
360"	HDPE	3.781	3.781
366"	HDPE	3.844	3.844
372"	HDPE	3.906	3.906
378"	HDPE	3.969	3.969
384"	HDPE	4.031	4.031
390"	HDPE	4.094	4.094
396"	HDPE	4.156	4.156
402"	HDPE	4.219	4.219
408"	HDPE	4.281	4.281
414"	HDPE	4.344	4.344
420"	HDPE	4.406	4.406
426"	HDPE	4.469	4.469
432"	HDPE	4.531	4.531
438"	HDPE	4.594	4.594
444"	HDPE	4.656	4.656
450"	HDPE	4.719	4.719
456"	HDPE	4.781	4.781
462"	HDPE	4.844	4.844
468"	HDPE	4.906	4.906
474"	HDPE	4.969	4.969
480"	HDPE	5.031	5.031
486"	HDPE	5.094	5.094
492"	HDPE	5.156	5.156
498"	HDPE	5.219	5.219
504"	HDPE	5.281	5.281
510"	HDPE	5.344	5.344
516"	HDPE	5.406	5.406
522"	HDPE	5.469	5.469
528"	HDPE	5.531	5.531
534"	HDPE	5.594	5.594
540"	HDPE	5.656	5.656
546"	HDPE	5.719	5.719
552"	HDPE	5.781	5.781
558"	HDPE	5.844	5.844
564"	HDPE	5.906	5.906
570"	HDPE	5.969	5.969
576"	HDPE	6.031	6.031
582"	HDPE	6.094	6.094
588"	HDPE	6.156	6.156
594"	HDPE	6.219	6.219
600"	HDPE	6.281	6.281
606"	HDPE	6.344	6.344
612"	HDPE	6.406	6.406
618"	HDPE	6.469	6.469
624"	HDPE	6.531	6.531
630"	HDPE	6.594	6.594
636"	HDPE	6.656	6.656
642"	HDPE	6.719	6.719
648"	HDPE	6.781	6.781
654"	HDPE	6.844	6.844
660"	HDPE	6.906	6.906
666"	HDPE	6.969	6.969
672"	HDPE	7.031	7.031
678"	HDPE	7.094	7.094
684"	HDPE	7.156	7.156
690"	HDPE	7.219	7.219
696"	HDPE	7.281	7.281
702"	HDPE	7.344	7.344
708"	HDPE	7.406	7.406
714"	HDPE	7.469	7.469
720"	HDPE	7.531	7.531
726"	HDPE	7.594	7.594
732"	HDPE	7.656	7.656
738"	HDPE	7.719	7.719
744"	HDPE	7.781	7.781
750"	HDPE	7.844	7.844
756"	HDPE	7.906	7.906
762"	HDPE	7.969	7.969
768"	HDPE	8.031	8.031
774"	HDPE	8.094	8.094
780"	HDPE	8.156	8.156
786"	HDPE	8.219	8.219
792"	HDPE	8.281	8.281
798"	HDPE	8.344	8.344
804"	HDPE	8.406	8.406
810"	HDPE	8.469	8.469
816"	HDPE	8.531	8.531
822"	HDPE	8.594	8.594
828"	HDPE	8.656	8.656
834"	HDPE	8.719	8.719
840"	HDPE	8.781	8.781
846"	HDPE	8.844	8.844
852"	HDPE	8.906	8.906
858"	HDPE	8.969	8.969
864"	HDPE	9.031	9.031
870"	HDPE	9.094	9.094
876"	HDPE	9.156	9.156
882"	HDPE	9.219	9.219
888"	HDPE	9.281	9.281
894"	HDPE	9.344	9.344
900"	HDPE	9.406	9.406
906"	HDPE	9.469	9.469
912"	HDPE	9.531	9.531
918"	HDPE	9.594	9.594
924"	HDPE	9.656	9.656
930"	HDPE	9.719	9.719
936"	HDPE	9.781	9.781
942"	HDPE	9.844	9.844
948"	HDPE	9.906	9.906
954"	HDPE	9.969	9.969
960"	HDPE	10.031	10.031
966"	HDPE	10.094	10.094
972"	HDPE	10.156	10.156
978"	HDPE	10.219	10.219
984"	HDPE	10.281	10.281
990"	HDPE	10.344	10.344
996"	HDPE	10.406	10.406
1002"	HDPE	10.469	10.469
1008"	HDPE	10.531	10.531
1014"	HDPE	10.594	10.594
1020"	HDPE	10.656	10.656
1026"	HDPE	10.719	10.719
1032"	HDPE	10.781	10.781
1038"	HDPE	10.844	10.844
1044"	HDPE	10.906	10.906
1050"	HDPE	10.969	10.969
1056"	HDPE	11.031	11.031
1062"	HDPE	11.094	11.094
1068"	HDPE	11.156	11.156
1074"	HDPE	11.219	11.219
1080"	HDPE	11.281	11.281
1086"	HDPE	11.344	11.344
1092"	HDPE	11.406	11.406
1098"	HDPE	11.469	11.469
1104"	HDPE	11.531	11.531
1110"	HDPE	11.594	11.594
1116"	HDPE	11.656	11.656
1122"	HDPE	11.719	11.719
1128"	HDPE	11.781	11.781
1134"	HDPE	11.844	11.844
1140"	HDPE	11.906	11.906
1146"	HDPE	11.969	11.969
1152"	HDPE	12.031	12.031
1158"	HDPE	12.094	12.094
1164"	HDPE	12.156	12.156
1170"	HDPE	12.219	12.219
1176"	HDPE	12.281	12.281
1182"	HDPE	12.344	12.344
1188"	HDPE	12.406	12.406
1194"	HDPE	12.469	12.469
1200"	HDPE	12.531	12.531
1206"	HDPE	12.594	12.594
1212"	HDPE	12.656	12.656
1218"	HDPE	12.719	12.719
1224"	HDPE	12.781	12.781
1230"	HDPE	12.844	12.844
1236"	HDPE	12.906	12.906
1242"	HDPE	12.969	12.969
1248"	HDPE	13.031	13.031
1254"	HDPE	13.094	13.094
1260"	HDPE	13.156	13.156
1266"	HDPE	13.219	13.219
1272"	HDPE	13.281	13.281
1278"	HDPE	13.344	13.344
1284"	HDPE	13.406	13.406
1290"	HDPE	13.469	13.469
1296"	HDPE	13.531	13.531
1302"	HDPE	13.594	13.594
1308"	HDPE	13.656	13.656
1314"	HDPE	13.719	13.719
1320"	HDPE	13.781	13.781
1326"	HDPE	13.844	13.844
1332"	HDPE	13.906	13.906
1338"	HDPE	13.969	13.969
1344"	HDPE	14.031	14.031
1350"	HDPE	14.094	14.094
1356"	HDPE	14.156	14.156
1362"	HDPE	14.219	14.219
1368"	HDPE		



WESTWOOD  
 PROFESSIONAL SERVICES, INC.  
 12315 WILSON AVE, SUITE 200  
 OTSEGO, MN 55055  
 (888) 897-5500  
 www.westwoodps.com

Ossego  
 12315 WILSON AVE, SUITE 200  
 OTSEGO, MN 55055  
 (888) 897-5500  
 www.ossego.com





DESIGNED	DATE
CHECKED	DATE
DRAWN	DATE
APPROVED	DATE
SCALE	DATE

PREPARED FOR:  
**SUMMERGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

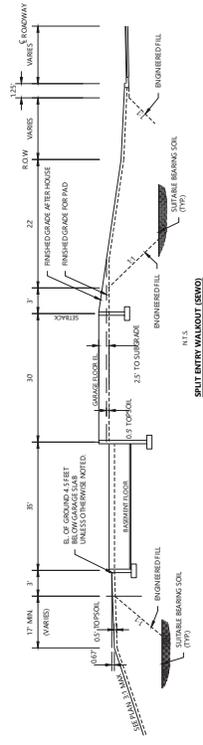
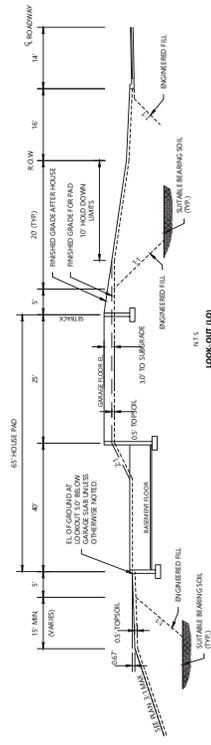
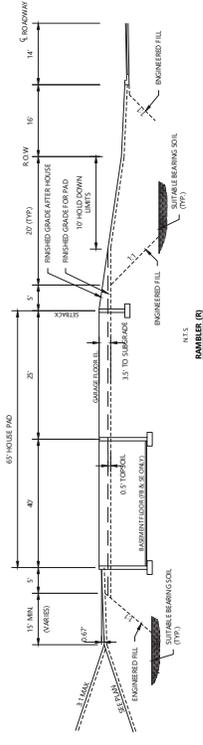
DATE: 02/02/26  
 SHEET NO. 15 OF 24  
 PROJECT NUMBER: 0052504-00

WESTWOOD ENGINEERING, INC.  
 1231 WILSON ROAD, SUITE 200  
 TORONTO, ONTARIO M2H 3B4  
 TEL: 416-291-2222  
 FAX: 416-291-2222  
 WWW.WESTWOOD-ENG.COM

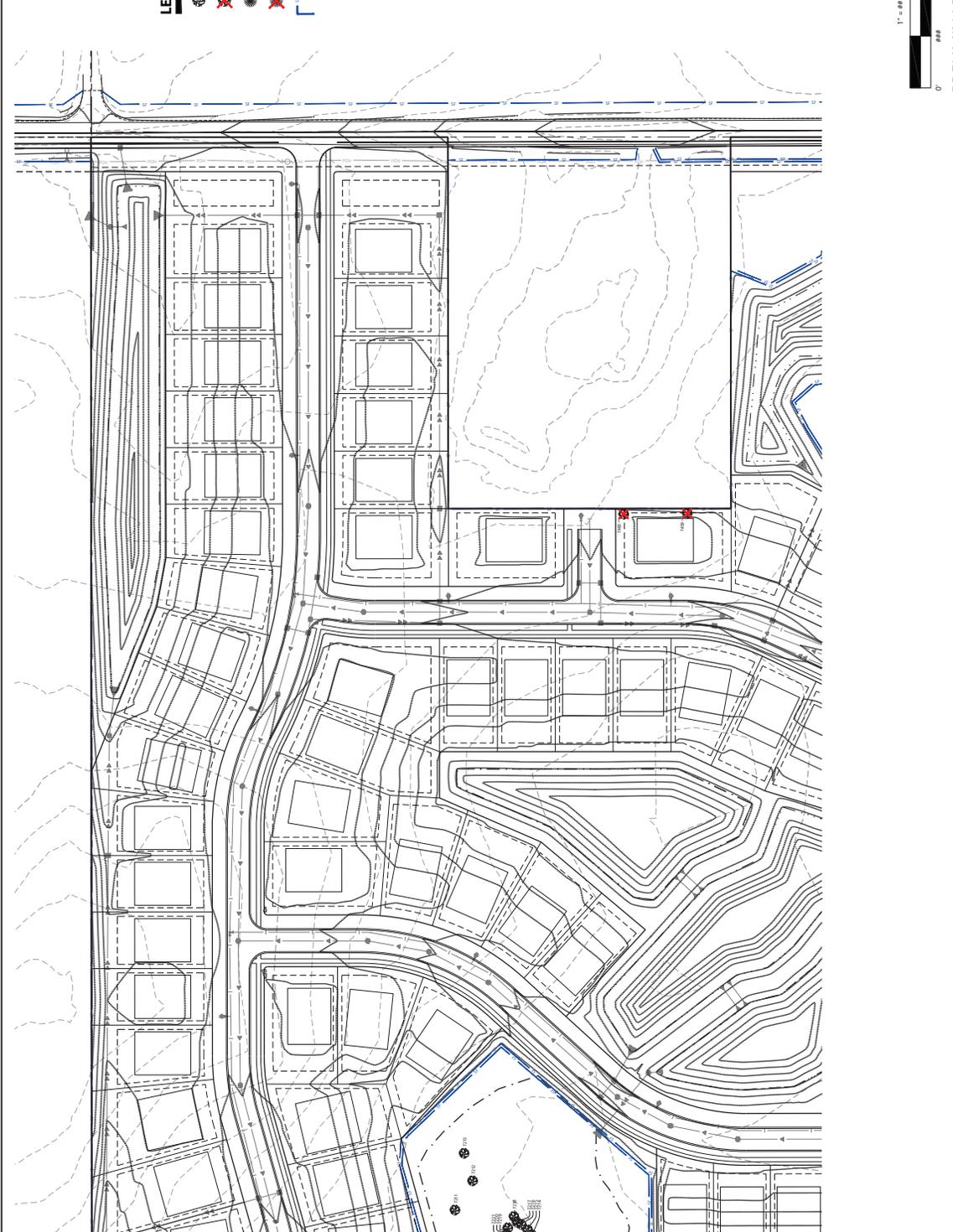
**MEADOW HAVEN**  
 OTSEGO, MN

**Westwood**  
 ENGINEERING, INC.  
 1231 WILSON ROAD, SUITE 200  
 TORONTO, ONTARIO M2H 3B4  
 TEL: 416-291-2222  
 FAX: 416-291-2222  
 WWW.WESTWOOD-ENG.COM

# HOLD DOWN DETAILS







Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

- LEGEND**
- EXISTING DECIDUOUS TREE TO REMAIN
  - EXISTING DECIDUOUS TREE TO BE REMOVED
  - EXISTING CONIFEROUS TREE TO REMAIN
  - EXISTING CONIFEROUS TREE TO BE REMOVED
  - SALT TOLERANCE / REMOVAL DISTURBANCE LIMITS

1" = 80' 0"

**PRELIMINARY PLANS**

18 OF 24

SHEET NUMBER: 18 OF 24

PROJECT NUMBER: 0052504.00

DATE: 02/02/26

**Westwood**  
 Phone: (720) 212-5100 12701 Whitehawk Drive, Suite #100  
 Ft. Collins, CO 80525-1100 westwood@westwood.com  
 Westwood Professional Services, Inc.

**MEADOW HAVEN**  
 OTSEGO, MN

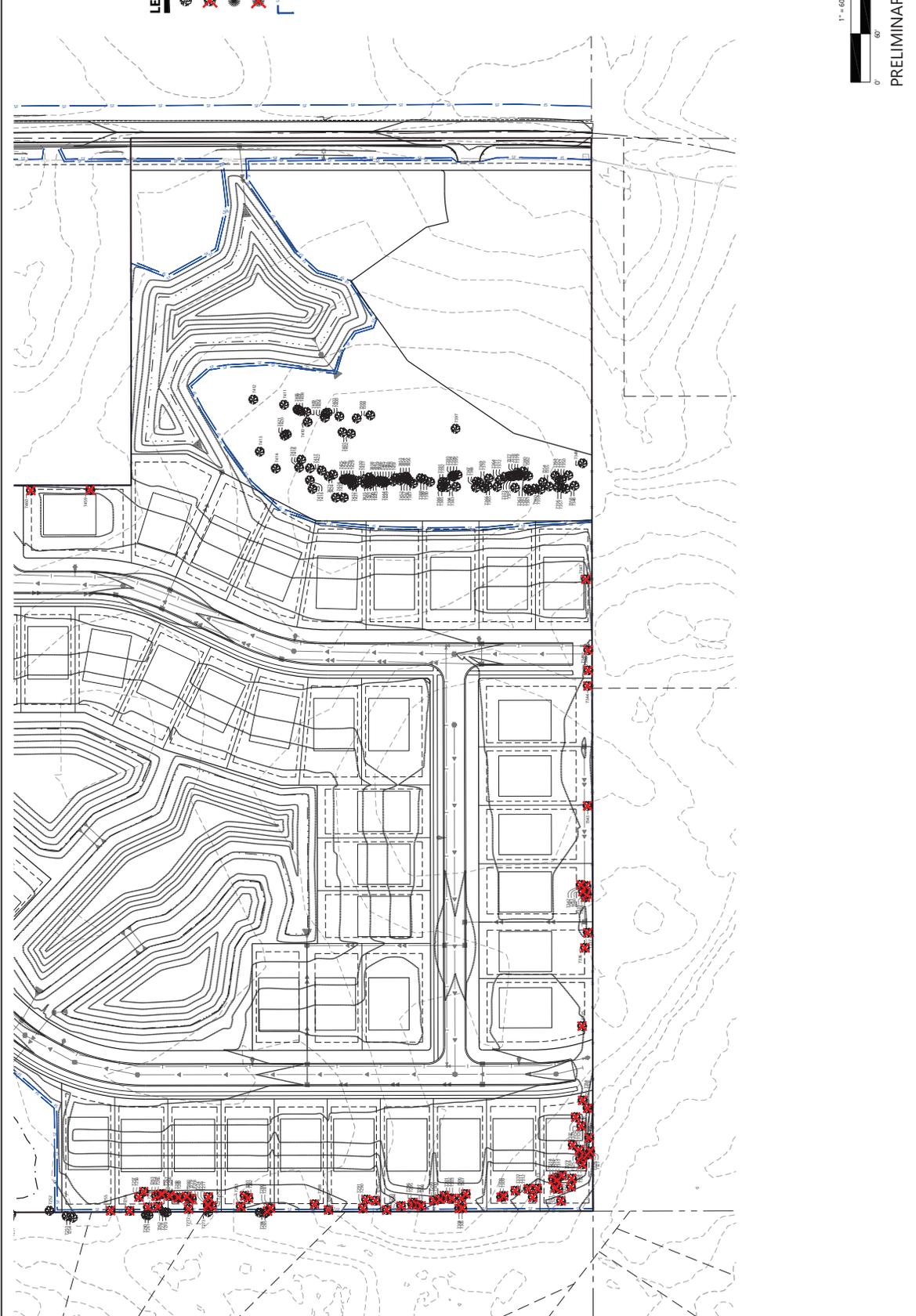
PREPARED FOR:  
**SUMMERSGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DATE: 02/02/26, LICENSE NO. 26971

CORY L. MEYER  
 CIVIL ENGINEER

DESIGNED	DATE
CHECKED	DATE
DRAWN	DATE
INTERIOR SCALE	DATE
VERTICAL SCALE	DATE

DATE	02/02/26
BY	
DATE	
BY	
DATE	
BY	



Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

**LEGEND**

- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO BE REMOVED
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO BE REMOVED
- SALT FENCE / REMOVAL
- DISTURBANCE LIMITS

1" = 60'  
 0' 60' 120' 180'  
**PRELIMINARY PLANS**



SHEET NUMBER: **19** OF **24**  
 DATE: 02/02/26  
 PROJECT NUMBER: 0052504.00

**PRELIMINARY TREE PRESERVATION PLAN**

**Westwood**  
 Phone: (715) 215-5100 12761 Whitehawk Drive, Suite #100  
 18 Free (888) 915-5100 westwoodprofs.com  
 Westwood Professional Services, Inc.

**MEADOW HAVEN**  
 OTSEGO, MN

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER.  
**CORY L. WIEBER**  
 DATE: 02/02/26, LICENSE NO. 26971

PREPARED FOR:  
**SUMMERGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DESIGNED	DATE
CHECKED	DATE
DRAWN	DATE
HORIZONTAL SCALE	DATE
VERTICAL SCALE	DATE

TRETAG	SPECIES	DBH/IN	MULTI	NOTES	TRE TYPE	OUTCOME
7201	Bowlder	6			Deciduous	Removed
7202	American Elm	20	X		Deciduous	Removed
7203	American Elm	12			Deciduous	Removed
7204	American Elm	13			Deciduous	Removed
7205	American Elm	12			Deciduous	Removed
7206	Bowlder	7			Deciduous	Removed
7207	Bowlder	6			Deciduous	Removed
7208	American Elm	7			Deciduous	Removed
7209	American Elm	8			Deciduous	Removed
7210	Bowlder	14			Deciduous	Removed
7211	Bowlder	11			Deciduous	Removed
7212	Bowlder	12			Deciduous	Removed
7213	Bowlder	13			Deciduous	Removed
7214	Bowlder	10			Deciduous	Removed
7215	Bowlder	10			Deciduous	Removed
7216	Bowlder	6			Deciduous	Removed
7217	Bowlder	6			Deciduous	Removed
7218	Bowlder	10			Deciduous	Removed
7219	Bowlder	10			Deciduous	Removed
7220	Bowlder	10			Deciduous	Removed
7221	Bowlder	10			Deciduous	Removed
7222	Bowlder	12			Deciduous	Removed
7223	Crowsfoot	30			Deciduous	Removed
7224	Bowlder	8			Deciduous	Removed
7225	Bowlder	8			Deciduous	Removed
7226	Green & White Ash	6			Deciduous	Removed
7227	Green & White Ash	6			Deciduous	Removed
7228	Bowlder	14			Deciduous	Removed
7229	Bowlder	10			Deciduous	Removed
7230	Bowlder	10			Deciduous	Removed
7231	Bowlder	15			Deciduous	Removed
7232	Bowlder	14			Deciduous	Removed
7233	Bowlder	6			Deciduous	Removed
7234	Bowlder	6			Deciduous	Removed
7235	Bowlder	8			Deciduous	Removed
7236	Bowlder	6			Deciduous	Removed
7237	Bowlder	6			Deciduous	Removed
7238	Bowlder	13			Deciduous	Removed
7239	Bowlder	9			Deciduous	Removed
7240	Bowlder	9			Deciduous	Removed
7241	Bowlder	7			Deciduous	Removed
7242	Bowlder	7			Deciduous	Removed
7243	Bowlder	7			Deciduous	Removed
7244	Bowlder	10			Deciduous	Removed
7245	Bowlder	7			Deciduous	Removed
7246	Bowlder	7			Deciduous	Removed
7247	Bowlder	12			Deciduous	Removed
7248	Bowlder	10			Deciduous	Removed
7249	Bowlder	10			Deciduous	Removed
7250	Bowlder	10			Deciduous	Removed
7251	Bowlder	24			Deciduous	Removed
7252	American Elm	8			Deciduous	Removed
7253	American Elm	8			Deciduous	Removed
7254	Bowlder	24			Deciduous	Removed
7255	Bowlder	15			Deciduous	Removed
7256	Bowlder	15			Deciduous	Removed
7257	Bowlder	10			Deciduous	Removed
7258	Bowlder	12			Deciduous	Removed
7259	Bowlder	12			Deciduous	Removed
7260	American Elm	6			Deciduous	Removed
7261	American Elm	9			Deciduous	Removed
7262	Aspen	7			Deciduous	Removed
7263	Bowlder	10			Deciduous	Removed
7264	Bowlder	7			Deciduous	Removed
7265	Bowlder	9			Deciduous	Removed
7266	Bowlder	6			Deciduous	Removed
7267	Bowlder	6			Deciduous	Removed
7268	Bowlder	6			Deciduous	Removed
7269	Bowlder	6			Deciduous	Removed
7270	Aspen	7			Deciduous	Removed
7271	Black Cherry	8			Deciduous	Removed
7272	Bowlder	8			Deciduous	Removed
7273	Bowlder	16			Deciduous	Removed
7274	Aspen	8			Deciduous	Removed
7275	Bowlder	7			Deciduous	Removed
7276	Black Cherry	7			Deciduous	Removed
7277	American Elm	6			Deciduous	Removed
7278	Bowlder	8			Deciduous	Removed
7279	Bowlder	8			Deciduous	Removed
7280	Bowlder	6			Deciduous	Removed
7281	American Elm	7			Deciduous	Removed
7282	Bowlder	13			Deciduous	Removed
7283	Bowlder	13			Deciduous	Removed
7284	Bowlder	14			Deciduous	Removed
7285	Bowlder	10			Deciduous	Removed
7286	American Elm	10			Deciduous	Removed
7287	Bowlder	9			Deciduous	Removed
7288	Bowlder	13			Deciduous	Removed
7289	Bowlder	15			Deciduous	Removed
7290	Bowlder	8			Deciduous	Removed
7291	Bowlder	23			Deciduous	Removed
7292	Bowlder	22			Deciduous	Removed
7293	Green & White Ash	10			Deciduous	Removed
7294	Bowlder	8			Deciduous	Removed
7295	Bowlder	9			Deciduous	Removed
7296	Bowlder	11			Deciduous	Removed
7297	Bowlder	8			Deciduous	Removed
7298	Bowlder	8			Deciduous	Removed
7299	Bowlder	8			Deciduous	Removed
7300	Bowlder	4			Deciduous	Removed

TRETAG	SPECIES	DBH/IN	MULTI	NOTES	TRE TYPE	OUTCOME
7301	Bowlder	9			Deciduous	Removed
7302	Bowlder	6			Deciduous	Removed
7303	American Elm	6			Deciduous	Removed
7304	Bowlder	8			Deciduous	Removed
7305	Bowlder	7			Deciduous	Removed
7306	Bowlder	7			Deciduous	Removed
7307	American Elm	7			Deciduous	Removed
7308	American Elm	8			Deciduous	Removed
7309	American Elm	20			Deciduous	Removed
7310	Bowlder	14			Deciduous	Removed
7311	Bowlder	11			Deciduous	Removed
7312	Bowlder	11			Deciduous	Removed
7313	Green & White Ash	6			Deciduous	Removed
7314	Bowlder	9			Deciduous	Removed
7315	Bowlder	9			Deciduous	Removed
7316	Bowlder	8			Deciduous	Removed
7317	Bowlder	8			Deciduous	Removed
7318	Green & White Ash	10			Deciduous	Removed
7319	Bowlder	10			Deciduous	Removed
7320	Bowlder	10			Deciduous	Removed
7321	Bowlder	10			Deciduous	Removed
7322	Bowlder	9			Deciduous	Removed
7323	Bowlder	17			Deciduous	Removed
7324	Bowlder	6			Deciduous	Removed
7325	Bowlder	6			Deciduous	Removed
7326	Bowlder	14			Deciduous	Removed
7327	Green & White Ash	14			Deciduous	Removed
7328	Bowlder	12			Deciduous	Removed
7329	Bowlder	14			Deciduous	Removed
7330	Bowlder	8			Deciduous	Removed
7331	Bowlder	8			Deciduous	Removed
7332	Bowlder	20			Deciduous	Removed
7333	Bowlder	6			Deciduous	Removed
7334	Bowlder	6			Deciduous	Removed
7335	Green & White Ash	13			Deciduous	Removed
7336	Green & White Ash	10			Deciduous	Removed
7337	Green & White Ash	10			Deciduous	Removed
7338	Green & White Ash	13			Deciduous	Removed
7339	Bowlder	6			Deciduous	Removed
7340	Bowlder	8			Deciduous	Removed
7341	Bowlder	8			Deciduous	Removed
7342	Bowlder	8			Deciduous	Removed
7343	Bowlder	15			Deciduous	Removed
7344	Bowlder	24			Deciduous	Removed
7345	Bowlder	22			Deciduous	Removed
7346	Bowlder	22			Deciduous	Removed
7347	Green & White Ash	8			Deciduous	Removed
7348	Bowlder	8			Deciduous	Removed
7349	Bowlder	17			Deciduous	Removed
7350	Bowlder	12			Deciduous	Removed
7351	Bowlder	6			Deciduous	Removed
7352	Bowlder	8			Deciduous	Removed
7353	Bowlder	8			Deciduous	Removed
7354	Bowlder	8			Deciduous	Removed
7355	Bowlder	8			Deciduous	Removed
7356	Bowlder	13			Deciduous	Removed
7357	Bowlder	13			Deciduous	Removed
7358	Bowlder	7			Deciduous	Removed
7359	Bowlder	7			Deciduous	Removed
7360	Bowlder	14			Deciduous	Removed
7361	Bowlder	14			Deciduous	Removed
7362	Bowlder	14			Deciduous	Removed
7363	Bowlder	17			Deciduous	Removed
7364	Bowlder	17			Deciduous	Removed
7365	Bowlder	17			Deciduous	Removed
7366	Bowlder	17			Deciduous	Removed
7367	Bowlder	17			Deciduous	Removed
7368	Bowlder	17			Deciduous	Removed
7369	Bowlder	17			Deciduous	Removed
7370	Bowlder	17			Deciduous	Removed
7371	Bowlder	17			Deciduous	Removed
7372	Bowlder	17			Deciduous	Removed
7373	Bowlder	17			Deciduous	Removed
7374	Bowlder	17			Deciduous	Removed
7375	Bowlder	17			Deciduous	Removed
7376	Bowlder	17			Deciduous	Removed
7377	Bowlder	17			Deciduous	Removed
7378	Bowlder	17			Deciduous	Removed
7379	Bowlder	17			Deciduous	Removed
7380	Bowlder	17			Deciduous	Removed
7381	Bowlder	17			Deciduous	Removed
7382	Bowlder	17			Deciduous	Removed
7383	Bowlder	17			Deciduous	Removed
7384	Bowlder	17			Deciduous	Removed
7385	Bowlder	17			Deciduous	Removed
7386	Bowlder	17			Deciduous	Removed
7387	Bowlder	17			Deciduous	Removed
7388	Bowlder	17			Deciduous	Removed
7389	Bowlder	17			Deciduous	Removed
7390	Bowlder	17			Deciduous	Removed
7391	Bowlder	17			Deciduous	Removed
7392	Bowlder	17			Deciduous	Removed
7393	Bowlder	17			Deciduous	Removed
7394	Bowlder	17			Deciduous	Removed
7395	Bowlder	17			Deciduous	Removed
7396	Bowlder	17			Deciduous	Removed
7397	Bowlder	17			Deciduous	Removed
7398	Bowlder	17			Deciduous	Removed
7399	Bowlder	17			Deciduous	Removed
7400	Bowlder	17			Deciduous	Removed

PREPARED FOR:  
**SUMMERGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DATE: 02/02/26  
 SHEET NUMBER: 20 OF 24  
 PROJECT NUMBER: 0052504-00  
 DATE: 02/02/26

MEADOW HAVEN  
 OTSEGO, MN

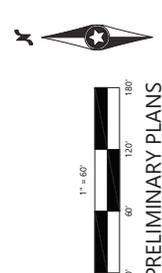
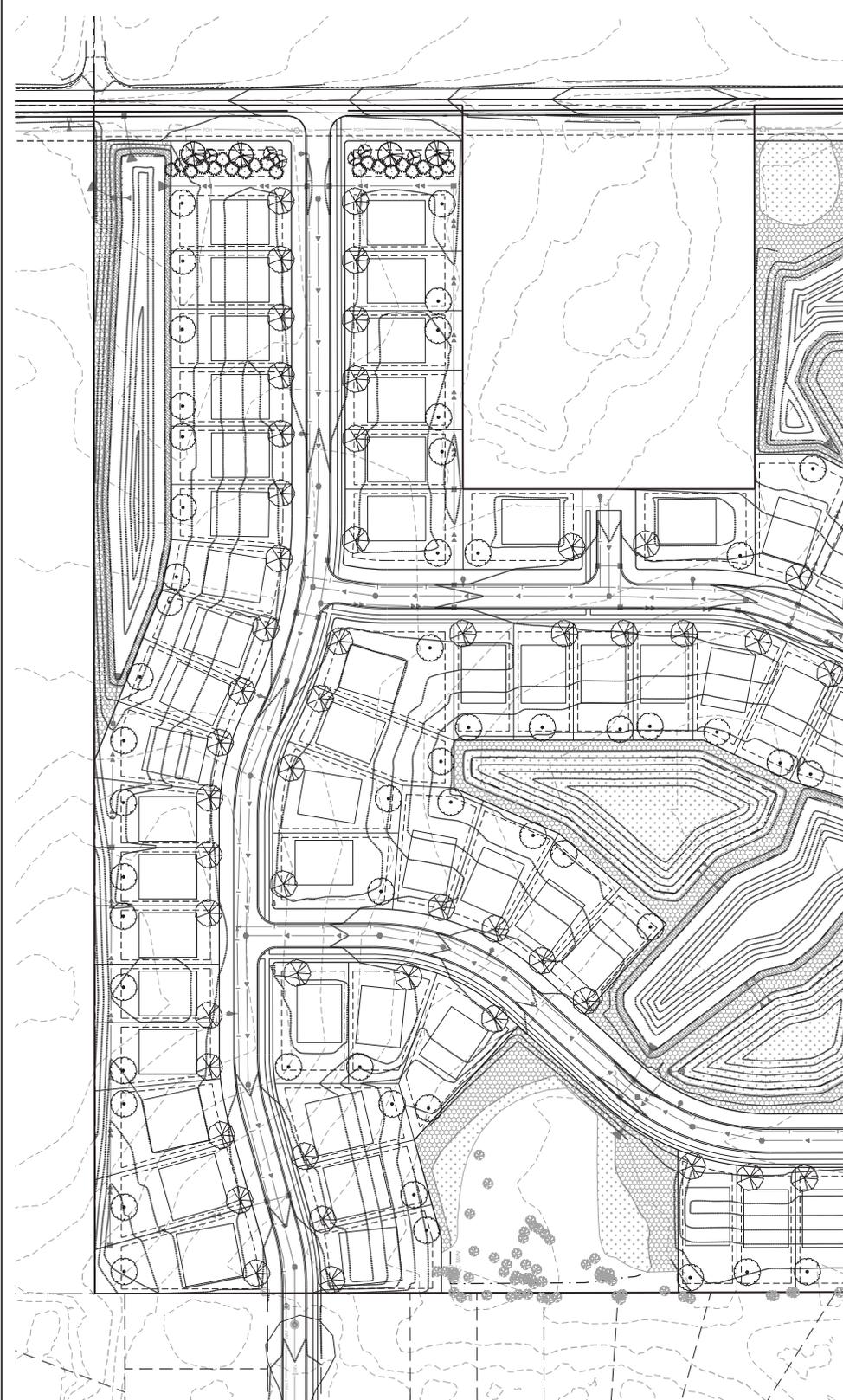
WESTWOOD  
 Phone: (888) 815-1100  
 18700  
 Westwood Professional Services, Inc.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMPLIES WITH ALL APPLICABLE REGULATIONS AND STANDARDS.  
 CORY L. WEBER  
 DATE: 02/02/26, LICENSE NO.: 26971

DESIGNED: TDO  
 CHECKED: TDO  
 DRAWN: DMW  
 HORIZONTAL SCALE: 1" = 60'  
 VERTICAL SCALE: 1" = 60'



Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance



**PRELIMINARY PLANS**

**PLANT LEGEND**

- OVERSTORY DECIDUOUS TREES (BY DEVELOPER)
- STREET TREES (BY DEVELOPER)
- OVERSTORY CONIFEROUS TREES (BY HOME BUILDER)
- OVERSTORY DECIDUOUS TREES BY DEVELOPER
- EVERGREEN TREES (BY DEVELOPER)

**SEED LEGEND**

- WETLAND BUFFERS IN WETLANDS AND WETLAND BUFFERS TO ESTABLISH VEGETATION IN AGRICULTURAL USE, OTHERWISE, SOLO UNLESS NOTED OTHERWISE.
- WETLAND BUFFERS TO ESTABLISH VEGETATION IN AGRICULTURAL USE, OTHERWISE, SOLO UNLESS NOTED OTHERWISE.
- WETLAND BUFFERS TO ESTABLISH VEGETATION IN AGRICULTURAL USE, OTHERWISE, SOLO UNLESS NOTED OTHERWISE.

SHEET NUMBER: **22** OF **24**  
 DATE: 02/02/26  
 PROJECT NUMBER: 0052504.00

**PRELIMINARY LANDSCAPE PLAN**



**MEADOW HAVEN**  
 OTSEGO, MN

PREPARED FOR:  
**SUMMERGATE COMPANIES LLC**  
 17305 CEDAR AVENUE, SUITE 200  
 LAKEVILLE, MN 55044

DATE: 02/02/26  
 DRAWING NO.: 26971

DESIGNED	DATE
CHECKED	DATE
DRAWN	DATE
APPROVED	DATE
DATE	DATE





## **MEMORANDUM**

**TO: Honorable Mayor and City Council**

**CC: Adam Flaherty, City Administrator**  
**Audra Etzel, City Clerk**  
**Daniel Licht, City Planner**  
**Dave Kendall, City Attorney**  
**Bryan Tucker, Summergate Companies LLC**  
**Thomas Desutter, Westwood Professional Services**

**FROM: Ronald J Wagner, P.E., City Engineer**

**DATE: February 16, 2026**

**RE: Meadow Haven**

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We have reviewed the following information provided by Westwood on behalf of Thomas Desutter regarding Meadow Haven.

Preliminary Plat for Meadow Haven dated February 2, 2026 by Westwood  
Storm Report for Meadow Haven , dated February 2, 2026 by Westwood

The submittal is to be considered for preliminary acceptance. We would offer the following comments:

### **General Requirements**

1. Provide Approval Signature Line for Ronald J Wagner, P.E. , City Engineer.

### **Preliminary Plat**

2. Locations and results of soil boring, percolation test, etc.
3. Provide Geotechnical report for the area to be plated
4. Statement certifying the environmental conditions of the site including the presence of any hazardous substances as defined in Minnesota Statutes 115B.02 and subd 8.

### **Proposed Design Features**

5. Provide curve data for streets.
6. Provide gradients and profile of proposed sewer lines and watermain.
7. Rework grading for side yard drainage multiple areas look to be areas that will hold water from proposed contours.
8. Provide drain tile for rear yards per standard plate no. 413
9. Provide drain tile for all catch basins at road low points.
10. Show and provide new Gate Valve at connection point at 66<sup>th</sup> street.

11. Remove Salvage hydrant from connection point at 66<sup>th</sup> St. Give back to city no new hydrant is needed.
12. Add two Gate Valves to the intersection of STREET 3 and STREET4.
13. Add CLEAN OUTS at the south end of STREET 2, STREET 3 and STREET 4.
14. Extend watermain to west side of McAllister Ave on STREET 1. Make connection within McAllister Ave. north to Water Tower #4. (WAC Credits)
15. Provide cross sections for McAllister Ave. improvements.
16. Rework ditch bottom for drainage for existing culvert at west side of 70<sup>th</sup> St and Macallister Ave.
17. Provide Curb and Gutter to east side of McAllister Ave. from 70<sup>th</sup> St to 67<sup>th</sup> St (WAC Credit)
18. Eliminate 15” metal culvert at 67<sup>th</sup> St and McAllister Ave. and replace with 30” RCP and extend to fit new ditch bottom as per the Otsego Creek Watershed Study. (Stormwater Credit)
19. Remove 15” metal culvert at STA-18+10 McAllister Ave. replace with 15” RCP and extend to fit ditch bottom.
20. Provide bike trail on west side of McAllister Ave. from North property line of the development to the south property line along with cross sections.
21. Provide ADA ramps at intersections of bike trail.
22. Add FORCEMAIN (size to be determined from furthest NE MH to NE Quadrant of intersection of 67<sup>th</sup> ST and McAllister Ave. (SAC Credit)
23. The Otsego Creek Watershed Study was sent to you for review. Included in the report was a need for a 42” storm pipe on the west side of the property connecting the wetlands within the development to the SW corner of the property. (Stormwater Credit)

### **Details**

24. Include Standard Plate No. 500a

### **Other Items**

25. Provide Outlot deed to City for future Well Lot 9 & 10 Block 7, with 20’ D&U easement for RAW Watermain along south plat line. (WAC Credit)

### **Summary and / or recommendations**

We recommend approval with requirements to address the items above.